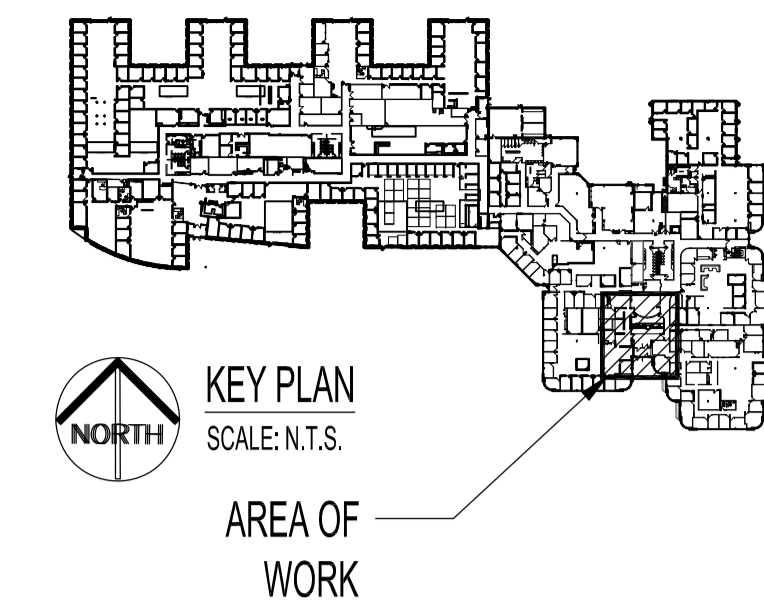


1 NEW CONSTRUCTION PLAN  
A1.1R1 SCALE: 1/4"=1'-0"

**DRAWING NOTES**

- 1 ALL WALL TYPES TO BE "W1" UNLESS OTHERWISE INDICATED.
- 2 4 FT. HIGH STAINLESS STEEL CORNER GUARDS REQUIRED WHERE INDICATED. 2" WIDE, 90 DEGREE, PROFILE.
- 3 WINDOW FILM (WF-1) REQUIRED ON INTERIOR OFFICE WINDOWS AS INDICATED ON ELEVATIONS. WINDOW FILM TO BE COLORED BLUE FINISH. PROVIDE SAMPLE TO CONTRACT ADMINISTRATOR FOR APPROVAL PRIOR TO ORDERING.
- 4 BLOCKING AS REQUIRED IN WALLS FOR SUPPORT FOR NEW WOOD DOORS AND METAL FRAMES.
- 5 ALL CARPET TILE TO BE INSTALLED USING LOW V.O.C QUICK RELEASE ADHESIVE ACCORDING TO MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
- 6 CARD READER ACCESS REQUIRED. REFER TO ELECTRICAL DRAWINGS. POWER REQUIRED.
- 7 3/4" THICK PLYWOOD BLOCKING IN WALL AS BLOCKING REQUIRED FOR SUPPORT FOR FUTURE NEW TELEVISION. CONFIRM INSTALL HEIGHTS OF TV'S WITH OWNER.
- 8 3/4" THICK PLYWOOD BLOCKING IN WALL AS BLOCKING REQUIRED FOR SUPPORT FOR FURNITURE WALL MOUNTED SHELF UNITS. REFER TO ELEVATIONS FOR HEIGHTS.
- 9 CONTRACTOR TO RE-INSTALL/INSTALL ALL EXISTING AND NEW FIRE EXTINGUISHERS AND FIRE SAFETY PLANS AS PER CITY OF WINNIPEG CONTRACT ADMINISTRATOR'S INSTRUCTIONS.
- 10 ALL EXISTING WOOD PANELING TO REMAIN. CONTRACTOR TO PROVIDE PAINTABLE WALL PLATES FOR WALL SCONCES THAT HAVE BEEN REMOVED. PROTECT DURING CONSTRUCTION.
- 11 4 FT. HIGH STAINLESS STEEL CORNER GUARDS REQUIRED WHERE INDICATED. 2" WIDE, CUSTOM PROFILE TO SUIT WALL ANGLE.
- 12 RECEPTION DESK MILLWORK CONSTRUCTION TO BE WILSONART SOLID SURFACE. COLOR WHITE STONE #9208CS-MATTE FINISH; WHERE INDICATED. BODY OF DESK TO BE PLAM-1 FINISH AS SPECIFIED IN FINISH SCHEDULE ON A1.3 R1
- 13 NEW WOOD PANELS STAINED TO MATCH EXISTING. SIZES TO MATCH EXISTING, TYPE OF SPECIES WITH CHROME REVEAL STRIPS.
- 14 NEW CLEAR WINDOW WITH HOLLOW METAL FRAME. REFER TO DWG. 2/A1.4
- 15 NEW PLEXIGLASS "COVID" FRAMES GLUED TO RECEPTION DESK COUNTER. PROVIDE \$3000.00 CASH ALLOWANCE AMOUNT. PREFERRED VENDOR IS PAL PLASTICS. HEIGHTS OF PANELS TO BE SIMILAR TO EXISTING. SITE CONFIRM.
- 16 MILLWORK GATE FRAME TO BE A WOOD FRAME THAT MUST BE ABLE TO ACCOMMODATE THREE STANDARD SPRING HINGES AND ADO AS SPECIFIED. CONFIRM VIA SHOP DRAWINGS.
- 17 EXISTING PEDESTAL FOR DOOR OPERATOR TO REMAIN
- 18 ALL EXISTING DOORS WITHIN LOBBY SPACE HAVE EXISTING DOOR ACTUATORS INSTALLED FOR BARRIER FREE ACCESS.
- 19 ALL NEW CARD ACCESS SWIPE DEVICES TO BE INSTALLED AT HEIGHTS TO MEET CITY OF WINNIPEG ACCESSIBILITY GUIDELINES FOR PROPER REACH LIMITS. REFER TO ELECTRICAL DRAWINGS AS WELL.
- 20 EXISTING LOBBY DOORS PRESENTLY COUNT AS A REQUIRED EXIT FOR 1155 PACIFIC AVENUE. THIS EXIT **MUST BE MAINTAINED AS A MEANS OF EXITING IN CASE OF EMERGENCY WHEN OFFICE ARE OCCUPIED.** THE ENTRANCE CAN BE CLOSED OFF TO RECEIVING VISITORS AND BE A WORK ZONE AS LONG AS EXITING IS MAINTAINED. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT EXITING IS MAINTAINED.
- 21 NEW DOOR ACTUATOR TYPE ARE TO BE TWO BUTTONS MOUNTED INTO WOOD PANELS. DEVICES TO BE INSTALLED AT HEIGHTS TO MEET CITY OF WINNIPEG ACCESSIBILITY GUIDELINES FOR PROPER REACH LIMITS. REFER TO DOOR SCHEDULE AND ELECTRICAL DRAWINGS.
- 22 NEW DOOR OPERATOR FOR GATE TO BE INSTALLED IN THIS GENERAL LOCATION TO SERVICE GATE. CONTRACTOR TO PROVIDE STAINED WOOD BOARD MOUNTED ON GLASS BLOCK WALL TO MOUNT OPERATOR. LOCATION TO BE SITE DETERMINED.



**DRAWING SYMBOL LEGEND**

- EXISTING DOORS
- NEW DOORS-SEE TYPES
- EXISTING WALLS
- NEW WALL CONSTRUCTION TYPE TO U/S OF STRUCTURE OR ACT CEILING.
- NEW WALL CONSTRUCTION TYPE PARTIAL HEIGHT WALLS
- INTERIOR ELEVATION SYMBOL
- WALL TYPE
- DRAWING NOTE
- GLAZING TYPE
- NEW DOOR OPERATOR SYMBOL
- NEW CARD ACCESS SYMBOL
- REVISION NOTE

**WALL TYPES LEGEND**

- TYPE W1 NEW 5/8" GYPSUM BOARD BOTH SIDES. NEW 3 5/8" STEEL STUDS @ 16" O.C. G.W.B TO UNDERSIDE OF EXISTING ACT CEILING R55 SOUND BATT INSULATION REQUIRED. BLOCKING REQUIRED FOR ANY DOOR FRAMES.
- TYPE W2 NEW 5/8" GYPSUM BOARD BOTH SIDES. NEW 3 5/8" STEEL STUDS @ 16" O.C. HEIGHT AS SHOWN ON ELEVATIONS. 1/2" PLYWOOD SUBSTRATE AT EDGES. BLOCKING REQUIRED FOR ANY DOOR FRAMES.

**GLAZING SCHEDULE**

- TYPE A 3/8" THICK CLEAR TEMPERED GLASS PANEL IN HOLLOW METAL PAINTED FRAMES. GLAZING TO HAVE FILM APPLIED FOR SAFETY. REFER TO ELEVATIONS.
- TYPE B 3/8" THICK CLEAR TEMPERED SAFETY GLASS PANEL IN HOLLOW METAL PAINTED FRAMES.

**NOTES:**  
THESE DRAWINGS SHALL NOT BE SCALED.  
THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY ONESELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.  
THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCT, PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.  
ALL OPENINGS THROUGH FIRE ASSEMBLIES ARE TO BE FIRE STOPPED AND SEALED WITH ULIC APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.  
ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.  
THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.  
WHERE NEW FLOORING AND BASE IS TO BE INSTALLED IN EXISTING AREAS (REFER TO FLOOR PLAN AND ROOM SCHEDULE) THE EXISTING FLOORING SURFACE AND BASE MUST BE REMOVED, UNLESS OTHERWISE NOTED. ALL FLOOR SURFACES SHALL BE PREPARED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF NEW FLOOR.  
WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL, UNLESS OTHERWISE NOTED.

ORIGINAL STAMPED BY: FIRST LAST, XXXX  
DATE: YEAR.MM.DD

2	ADDENDUM # 2	MAR. 15/ 2021
1	ISSUED FOR CONSTRUCTION	MAR. 1/ 2021

No.	REVISION/DESCRIPTION	BY	DATE

DRAWN	CHECKED	DESIGNED	APPROVED
DATE 2021.03.01	USER APPROVAL		

THE CITY OF WINNIPEG  
PLANNING, PROPERTY AND DEVELOPMENT DEPARTMENT  
MUNICIPAL ACCOMMODATIONS DIVISION  
3-65 GARRY STREET, R3C 4K4

PROJECT  
PUBLIC WORKS DEPARTMENT  
SECURITY AND ACCESSIBILITY UPGRADES

1155 PACIFIC AVENUE, WINNIPEG, MB. TENDER # 139-2021

SHEET TITLE  
NEW CONSTRUCTION PLAN

SCALE 1/4"=1'-0"	PROJECT No: 2019-032	SHEET No: A1.1R1
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