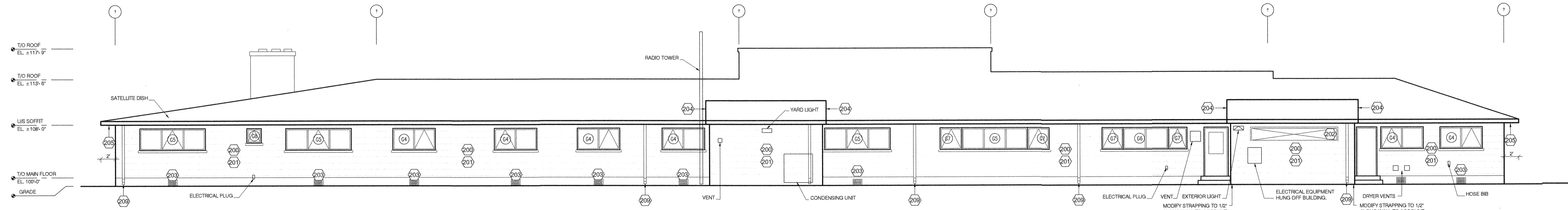
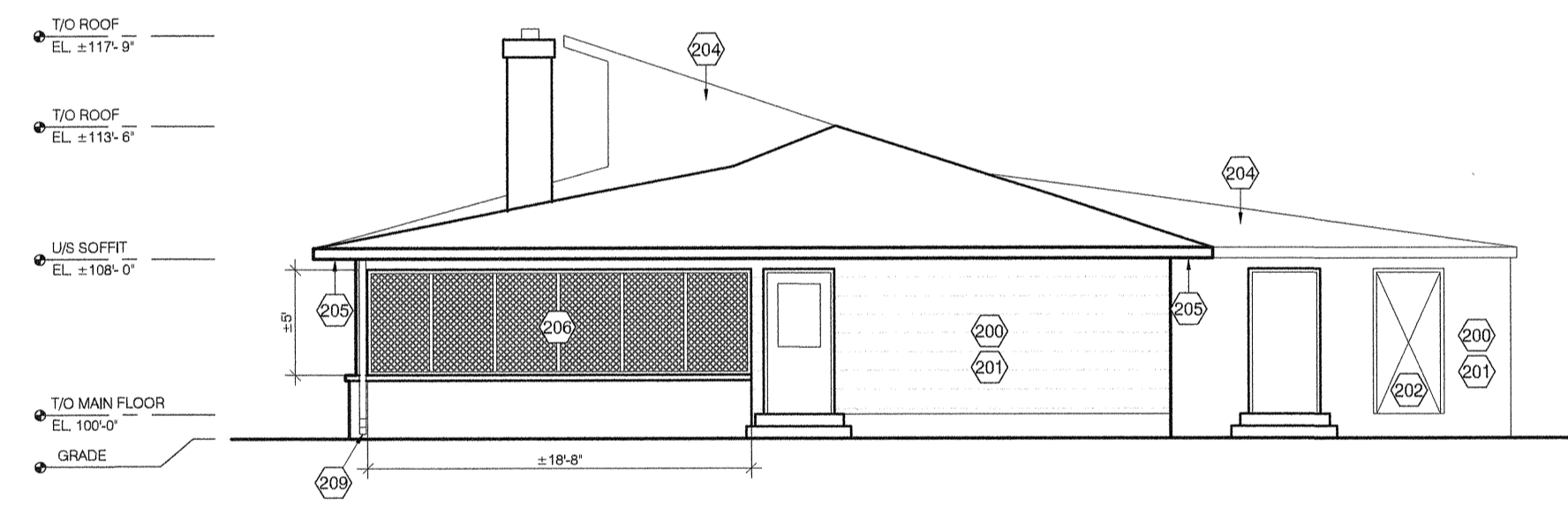


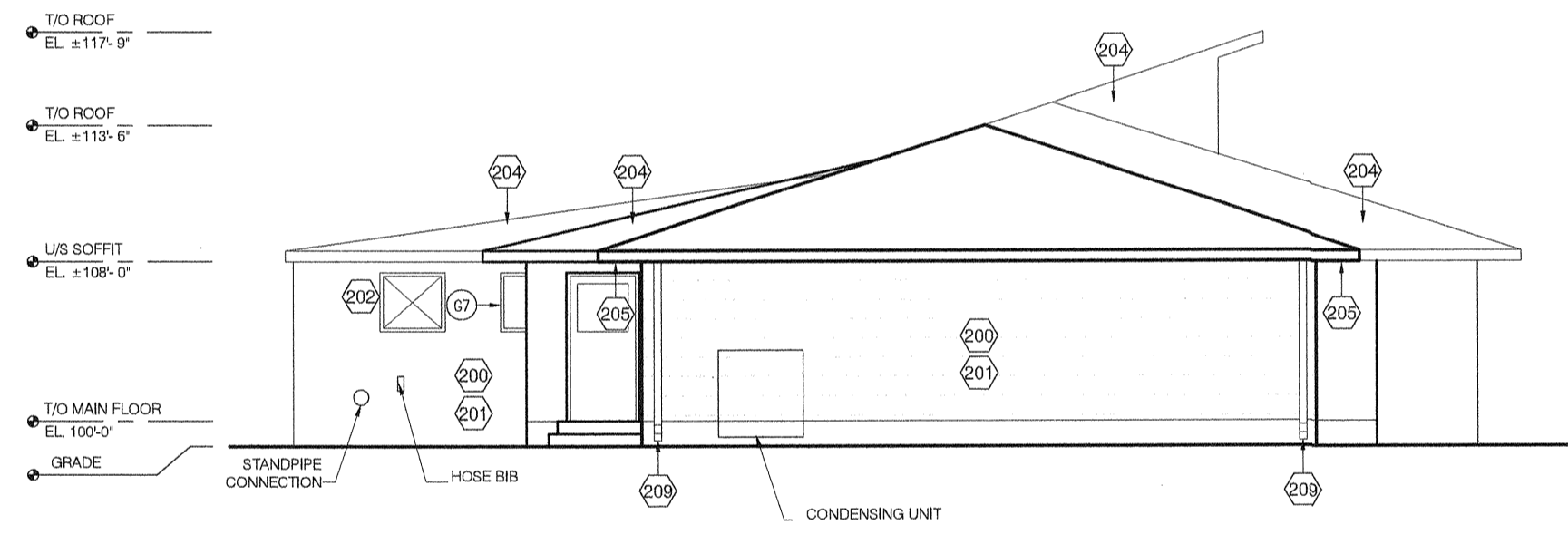
1 WEST ELEVATION
B1.1 1/8" = 1'-0"



2 EAST ELEVATION
B1.1 1/8" = 1'-0"



3 SOUTH ELEVATION
B1.1 1/8" = 1'-0"

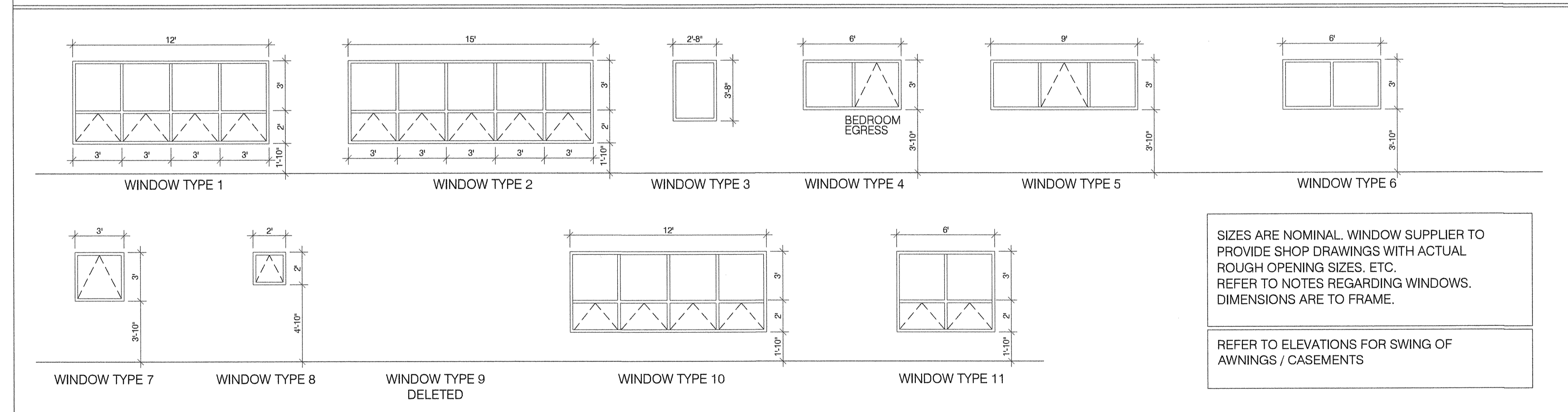


4 NORTH ELEVATION
B1.1 1/8" = 1'-0"

ELEVATION KEYNOTES STAFF HOUSE

- 1. REMOVAL AND ABATEMENT OF EXISTING ASBESTOS HARDBOARD SIDING. CONTRACTOR TO COORDINATE WITH ASBESTOS REMOVAL REQUIREMENTS IN FRONT END SPECIFICATION.
- 2. PROVIDE NEW CEMENT BOARD SIDING - CLIENT TO CONFIRM COLOR. (REFER TO DETAILS FOR CORNER / EDGE CONDITIONS)
- 3. BLOCKED OFF WINDOWS IN STORAGE / ELECTRICAL ROOM (111) AND MECHANICAL ROOM (116) TO BE REMOVED AND FILLED WITH APPROVED ENVELOPE ASSEMBLY.
- 4. GRILLS OFF OF ROOMS TO BE REMOVED AND FILLED WITH APPROVED ENVELOPE ASSEMBLY. NEW ASSEMBLY TO MATCH AS MUCH AS POSSIBLE. EXISTING ENVELOPE (SUCH AS BUT NOT LIMITED TO: VAPOUR BARRIER TYPE, ETC.)
- 5. REMOVAL AND REPLACEMENT OF CORRUGATED STEEL SIDING AT AREAS OF HIGH ROOFS. CONTRACTOR TO CONFIRM IF ASBESTOS HARD BOARD EXISTS BEHIND CORRUGATED STEEL. ALL FLASHING / ROOFING REWORK TO MEET BEST PRACTICE METHODS OF BUILDING ENVELOPE / FLASHING INSTALLATION FOR NEW CLADDING.
- 6. REMOVAL AND REPLACEMENT OF ALL SOFFIT AND FASCIA. POSSIBLE REWORK OF ROOF TO FACILITATE FASCIA / SOFFIT REPLACEMENT TO ENSURE PROPER FLASHING ALONG PERIMETER.
- 7. REMOVE AND REPLACE SCREENING OFF VERANDA. SCREEN SYSTEM TO FIT WITH EXISTING STRUCTURAL FRAMING. (REFER TO STRUCTURAL)
- 8. PROVIDE NEW LINING OF EXISTING FIRE PLACE. RE-POINTING OF EXISTING CHIMNEY - CONTRACTOR PROVIDE UNIT PRICE FOR THIS ITEM
- 9. RE-POINTING OF EXISTING BRICK AT FRONT ENTRANCE AND PATIO (REFER TO STRUCTURAL)
- 10. REMOVE AND REPLACE EXISTING DOWNSPOUTS AND GUTTERS. EXISTING LOCATIONS TO REMAIN.

GLAZING TYPES - STAFF HOUSE



NOTES REGARDING WINDOWS:

ALL PUBLIC ENTRY GLAZING IN DOORS TO BE TEMPERED GLASS.

EGRESS WINDOW MUST COMPLY WITH MBC 2011 REQUIREMENTS (9.9.10.1) SHALL HAVE AN UNOBSTRUCTED OPENING OF NOT LESS THAN .35 M² IN AREA WITH NO DIMENSION LESS THAN 380 MM (1'-2") & MAINTAIN THE REQUIRED OPENING DURING AN EMERGENCY WITHOUT THE NEED FOR ADDITIONAL SUPPORT.

1 1/2" STRAPPING (PRESSURE TREATED) WINDOWS TO INCLUDE A 2" BRICK MOLD. (CONTRACTOR TO COORDINATE ON SITE). PROVIDE WINDOW SHOP DRAWINGS WITH PROPER BRICK MOLD DEPTH.

WINDOW MANUFACTURER - WINDOW SUPPLIER TO PROVIDE SHOP DRAWINGS.

FRAME : FIBERGLASS FRAMES - COLOUR TO BE WHITE / OR WHITE ANODIZED (UNLESS NOTED OTHERWISE)

SCREENS: PROVIDE BUG SCREENS FOR OPERABLE WINDOWS

GLAZING : TO BE CLEAR GLASS. DUAL GLAZED. ALL WINDOWS MUST COMPLY WITH 2011 MANITOBA ENERGY CODE FOR BUILDINGS REQUIREMENTS, MINIMUM R VALUE AND INFILTRATION RATES).

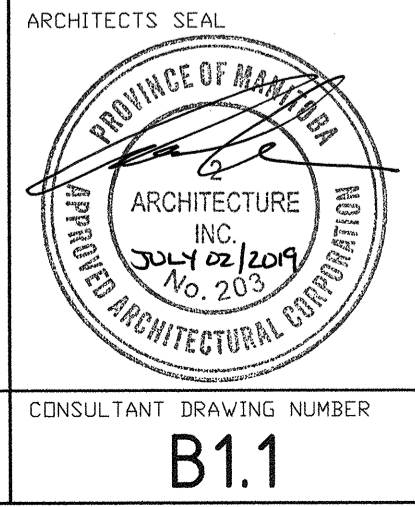
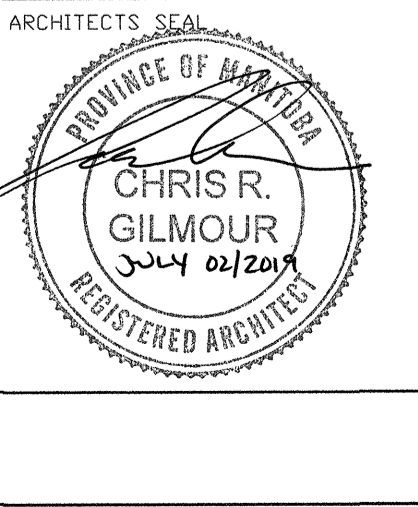
WEATHER STRIPPING : TO BE APPLIED TO FULL PERIMETER OF OPERATING SASH/FRAME.

HARDWARE : ALL HARDWARE TO HAVE A CORROSION RESISTANT COATING - COLOR TO MATCH LOCK AND OPERATOR. LOCKS: STANDARD MULTI-POINT (19" NOM.) OR CAM LOCK. HANDLES: COLLAPSIBLE. SASH UNHOOKS FOR INTERIOR SERVICE IF NECESSARY. HEAVY-DUTY HINGES.

DO NOT SCALE THE DRAWINGS. NO REPRODUCTION MAY BE MADE WITHOUT THE PERMISSION OF 2 ARCHITECTURE INC. THE GENERAL CONTRACTOR AND ALL SUB-TRADES SHALL CHECK AND VERIFY ALL DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS OF THE SITE AND SHALL BE HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED.

| NO. | ISSUED FOR TENDER- 643 2019 | JULY 2 | PA |
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| 2 architecture | |
| DESIGNED BY | CG |
| CHECKED BY | CG |
| DRAWN BY | ES |
| APPROVED BY | ES |
| SCALE- HORIZONTAL | AS NOTED |
| VERTICAL | |
| RELEASED FOR CONSTRUCTION | |
| DATE | JULY 2, 2019 |
| PLOT DATE: | JULY 2, 2019 |



THE CITY OF WINNIPEG
WATER AND WASTE DEPARTMENT
ENGINEERING DIVISION

**SHOAL LAKE AQUEDUCT INTAKE
RESIDENCE UPGRADES
STAFF HOUSE-ELEVATIONS**

CITY DRAWING NUMBER: 1-06005-B0003-001

SHEET 4 OF 11