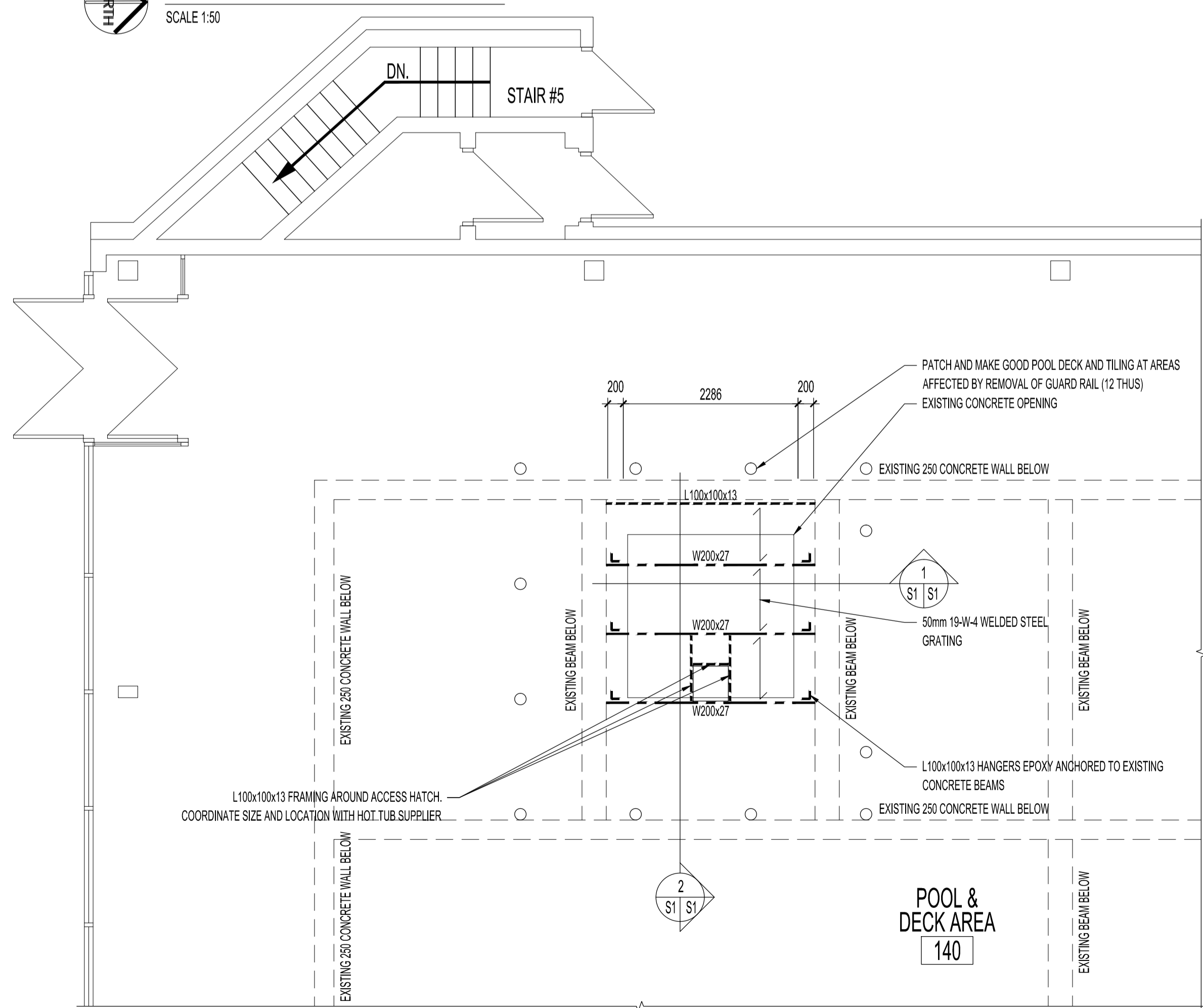
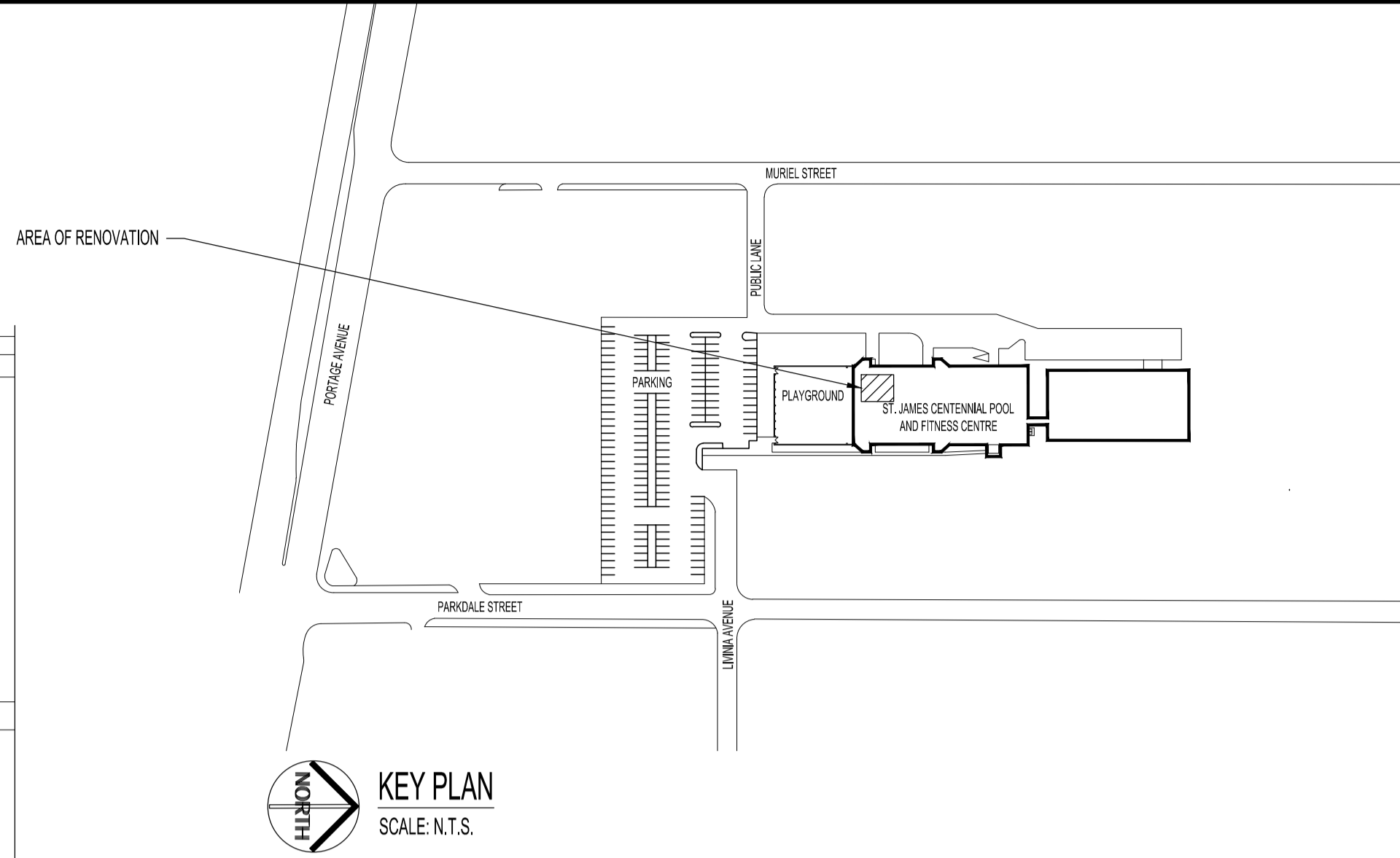


PARTIAL MAIN FLOOR PLAN - DEMOLITION
SCALE 1:50

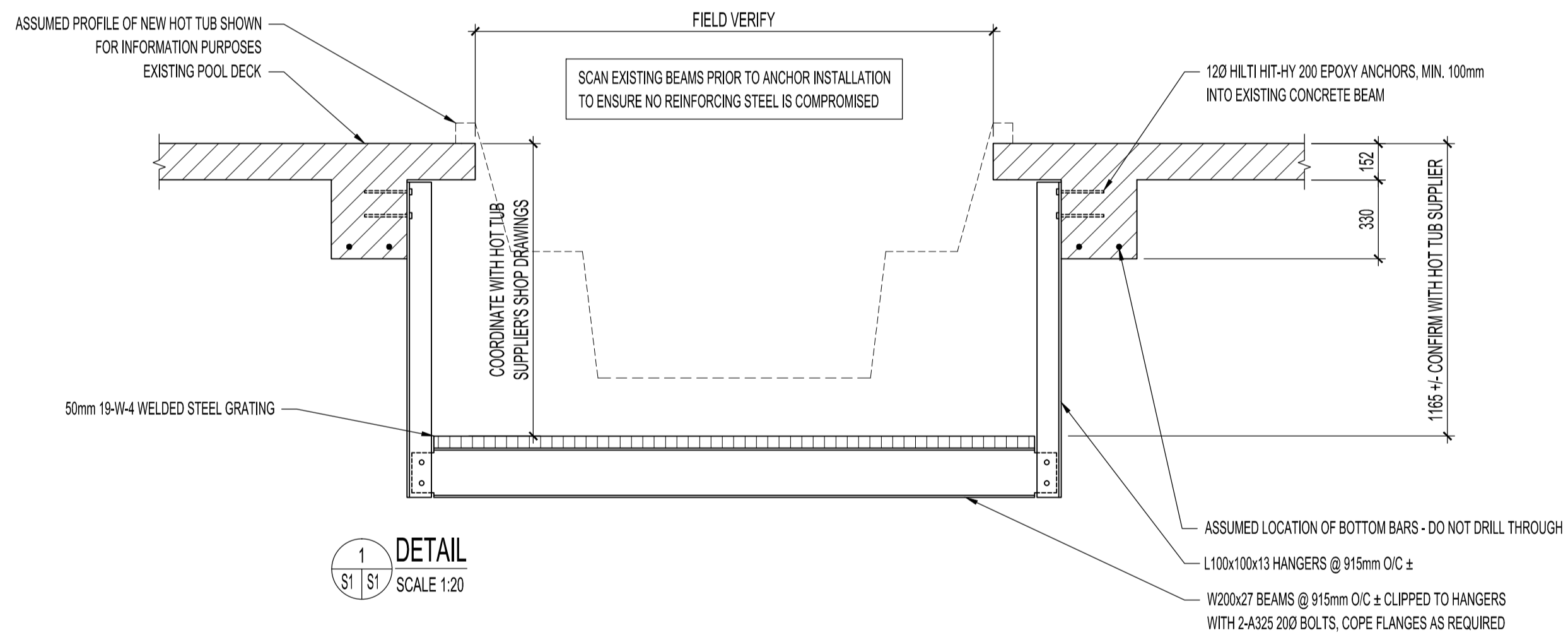


PARTIAL MAIN FLOOR PLAN - RENOVATION
SCALE 1:50

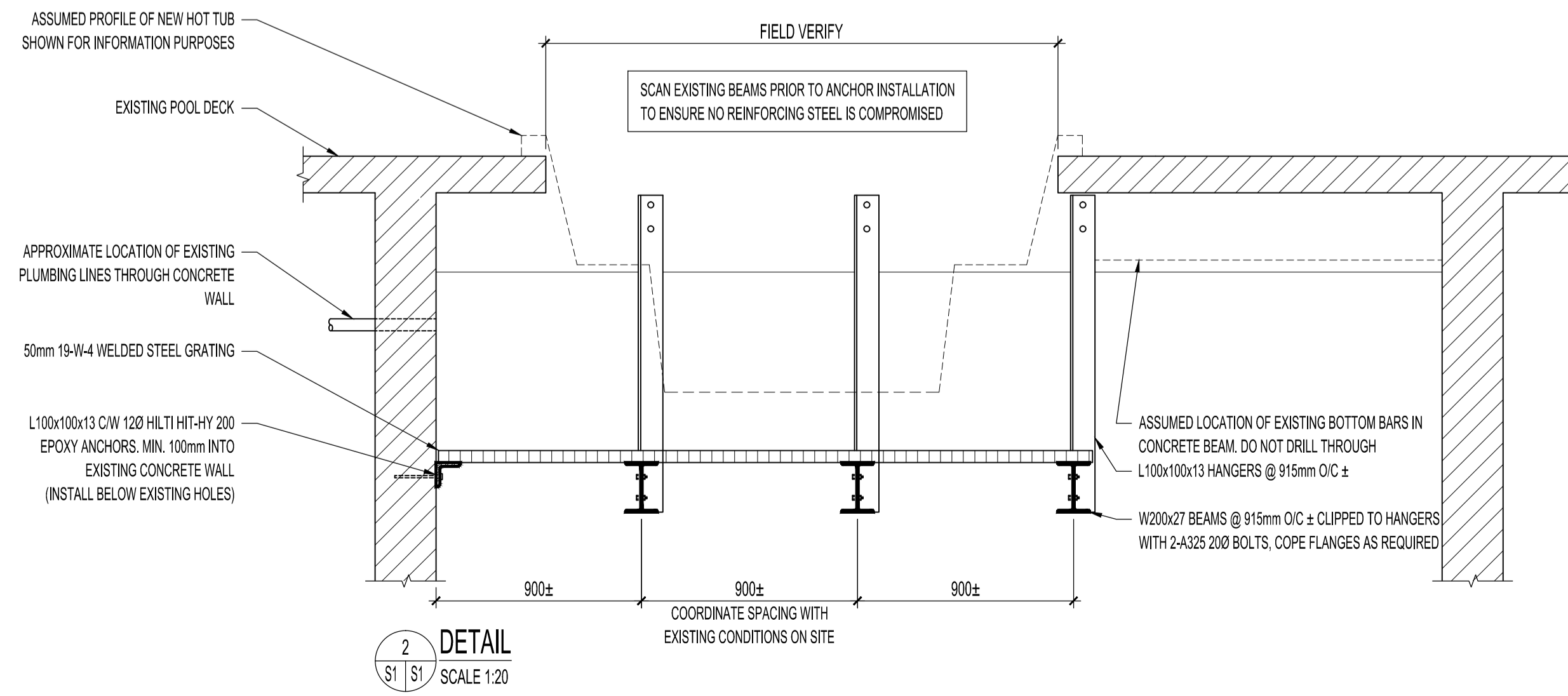
DESIGN LOADS: LIVE LOAD = 8.3 kPa (MAX 820mm WATER)
DEAD LOAD = 1.0 kPa



KEY PLAN
SCALE: N.T.S.



1 DETAIL
SCALE 1:20

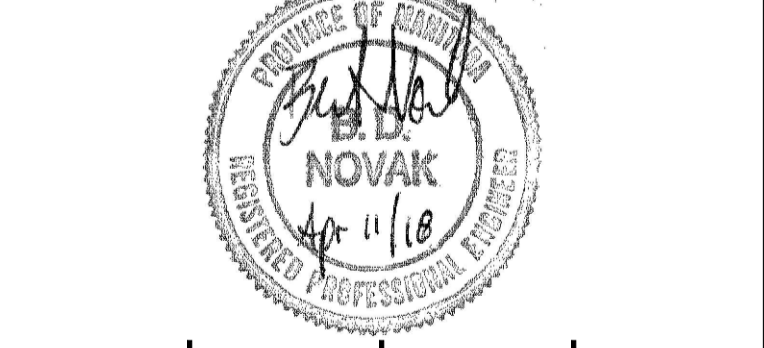


2 DETAIL
SCALE 1:20

NOTES:

1. THE BUILDING IS IN ACCORDANCE WITH THE 2011 EDITION OF THE MANITOBA BUILDING CODE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL NECESSARY SHORING, BRACING AND FORMWORK. FORMWORK FOR NEW CONSTRUCTION SHALL BE BRIDGED OVER EXISTING SERVICES.
3. ERRORS IN DRAWINGS AND/OR SPECIFICATIONS AND/OR PREVIOUSLY UNKNOWN EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACT ADMINISTRATOR BEFORE PROCEEDING WITH THE WORK. DURING THE BID OPPORTUNITY STAGE, CONTRACTOR SHALL REQUEST AN INTERPRETATION OF CONFLICTS PRIOR TO BID OPPORTUNITY. IF NO REQUEST IS MADE, BOTH PROVISIONS SHALL BE PRESUMED TO BE INCLUDED IN THE BID OPPORTUNITY AND THE CONTRACT ADMINISTRATOR SHALL DETERMINE WHICH PROVISION GOVERNS, AND THE CONTRACTOR SHALL PERFORM THE WORK AT NO ADDITIONAL COST TO THE CITY OF WINNIPEG.
4. ANY UNSOUND STRUCTURAL CONDITIONS OBSERVED OR CREATED DURING CONSTRUCTION ARE TO BE REPORTED TO CONTRACT ADMINISTRATOR IMMEDIATELY.
5. CONTRACTOR SHALL REVIEW, STAMP, SIGN AND DATE ALL SHOP DRAWINGS PRIOR TO FORWARDING TO CONTRACT ADMINISTRATOR. THE CONTRACT ADMINISTRATOR'S REVIEW IS TO BE FOR CONFORMANCE WITH THE DESIGN CONCEPT AND GENERAL COMPLIANCE WITH THE RELEVANT CONTRACT DOCUMENTS. THE CONTRACT ADMINISTRATOR'S REVIEW DOES NOT RELIEVE THE CONTRACTOR OF THE SOLE RESPONSIBILITY TO REVIEW, CHECK AND COORDINATE THE SHOP DRAWINGS PRIOR TO SUBMISSION. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND EMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, DIMENSIONS, ETC.
6. COORDINATE SIZE AND LOCATION OF ALL OPENINGS IN STRUCTURAL MEMBERS WITH TRADES INVOLVED. ALL OPENINGS NOT INDICATED ON STRUCTURAL DRAWINGS TO BE APPROVED BY CONTRACT ADMINISTRATOR.
7. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR SMALL OPENINGS, SLEEVES, RECESSES, DEPRESSIONS, SLUMPS, TRENCHES, CURBS, HOUSEKEEPING PADS, EQUIPMENT BASES, AND SLOPES NOT INDICATED ON THE STRUCTURAL DRAWINGS.
8. COORDINATE PLACEMENT AND LOCATION OF ITEMS BY SUBSEQUENT TRADES. RELEVANT TRADES SHALL REVIEW PRIOR TO ERECTION AND/OR INSTALLATION.
9. VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO CONTRACT ADMINISTRATOR IMMEDIATELY. DO NOT SCALE DRAWINGS.
10. DO NOT EXCEED, DURING CONSTRUCTION, DESIGN LIVE LOADS SHOWN ON PLANS. REDUCE AS NECESSARY UNTIL MATERIALS REACH DESIGN STRENGTH.
11. CONFIRM ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS TO BE REPORTED TO CONTRACT ADMINISTRATOR IMMEDIATELY.
12. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE CONTRACT ADMINISTRATOR.
13. STRUCTURAL AND MISCELLANEOUS STEEL FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH CANCSA-S16-1-09.
14. STRUCTURAL STEEL SHALL MEET THE REQUIREMENTS OF CANCSA-G40.20/G40.21-M92.
ROLLED SHAPES & PLATES CSA G40.21-300W
HSS SECTIONS CSA G40.21-350W
ANCHOR BOLTS (GALV.) ASTM A307M
BOLTS, NUTS & WASHERS ASTM A325M
WELDING ELECTRODES CSA W48-06
15. WELDING SHALL BE IN ACCORDANCE WITH CSA W549/M1989. BY WELDERS CERTIFIED AND QUALIFIED IN ACCORDANCE WITH CSA W47.1-1993. ALL WELDS TO BE 1/4" UNLESS NOTED OTHERWISE.
16. NEW ASSEMBLIES SHALL BE SHOP FABRICATED TO THE FULLEST EXTENT POSSIBLE. FIELD WORK SHALL BE LIMITED TO INSTALLATIONS, REPAIRS AND TOUCH UPS UNLESS NOTED OTHERWISE.
17. STEEL SUPPLIER SHALL SUBMIT SHOP DRAWINGS FOR REVIEW OF FABRICATION, SIZES, DIMENSIONS AND PLACEMENT. ALL CONNECTIONS NOT SHOWN ON THE DRAWINGS ARE TO BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF MANITOBA.

No.	REVISION/DESCRIPTION	BY	DATE
0	ISSUED FOR CONSTRUCTION	JAW	APRIL 11 2018



DATE	USER APPROVAL	DESIGNED	APPROVED
2018.04.11	JAW		

THE CITY OF WINNIPEG
PLANNING, PROPERTY AND
DEVELOPMENT DEPARTMENT
MUNICIPAL ACCOMMODATIONS DIVISION
3-65 GARRY STREET, R3C 4K4

PROJECT
ST. JAMES CENTENNIAL POOL
HOT TUB REPLACEMENT

644 PARKDALE AVENUE
SHEET TITLE
PARTIAL MAIN FLOOR PLAN

SCALE	PROJECT No:	SHEET No:
AS SHOWN	2017-031	S1