

GENERAL NOTES

(READ NOTES PRIOR TO PROCEEDING)

- IN THE EVENT THAT INCONSISTENCIES OCCUR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MOST STRINGENT REQUIREMENT SHALL PREVAIL.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL REVISED EXISTING UNIT PLANS. CONTACT THE CONTRACT ADMINISTRATOR WHERE INFORMATION IS MISSING OR DISCREPANCIES OCCUR.
- THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DRAWINGS PRIOR TO EXECUTING THE WORK AS SCHEDULED AND NOTIFY THE CONTRACT ADMINISTRATOR OF DISCREPANCIES AND INCONSISTENCIES PERTAINING TO THE ITEMS BELOW OR OTHER ITEMS AS THEY BECOME EVIDENT IN THE REVIEW PROCESS:
 - BARRIER FREE REQUIREMENTS: ASPHALT MEETING ENTRANCES, CONCRETE SLABS, ETC.
 - NEW FLOOR LEVELS IN RELATION TO EXISTING FLOOR LEVELS.
 - MANUFACTURERS INSTRUCTIONS IN APPLYING AND ASSEMBLING CONSTRUCTION MATERIALS AS INDICATED IN THE DRAWINGS AND IN THE SPECIFICATIONS.
 - RATED WALLS, NON-COMBUSTIBLE AIR PLENUMS AND RATED DUCT SHAFTS.
 - LOCATIONS OF LIGHTING FIXTURES, BELLS/DETECTORS, OUTLETS, SWITCHES, MOTION DETECTORS, ETC.
 - RATING REQUIREMENTS OF STRUCTURAL MEMBERS.
 - PRIOR KNOWLEDGE OF MECHANICAL SYSTEMS AND HOW THEY INTERFACE WITH THE BUILDING SYSTEMS AS A WHOLE.
 - IN-DEPTH REVIEW OF ALL SHOP DRAWINGS. SITE CONDITIONS SHALL DICTATE SHOP DRAWING REQUIREMENTS WHERE HEIGHTS AND DIMENSIONS ARE CONCERNED, EXCEPT WHERE THE DRAWING INTENT IS COMPROMISED, IN WHICH CASE THE CONTRACT ADMINISTRATOR SHALL BE CONTACTED FOR INSTRUCTIONS.
 - INCORPORATE ALL ADDENDA, REVISIONS AND SUBSEQUENT CLARIFICATIONS OR INSTRUCTIONS.
 - ARCHITECTURAL SPECIALTIES SUCH AS CABINETS, SHELVEING, WOOD TRIM/BANDING, WASH ROOM ACCESSORIES, EQUIPMENT, THRESHOLDS, ETC.
 - ACCEPTABLE FLOOR FINISH AND CONDITION FOR FLOOR FINISH APPLICATION.
 - ALL GOVERNING CODES AND BYLAWS PERTAINING TO THE PROJECT.
- THE CONTRACTOR SHALL APPOINT A WELL EXPERIENCED, QUALIFIED SUPERINTENDENT TO COORDINATE AND SUPERVISE THE WORK AS DEFINED IN THE SPECIFICATIONS.
- THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL WORK BETWEEN SUB-TRADES AND OTHER SPECIALTY ITEMS.
- CONTRACTOR SHALL NOT COMMENCE WORK ON SITE PRIOR TO A CAREFUL REVIEW OF THE WORK IN ACCORDANCE WITH ALL DOCUMENTS, WITH THE SUPERINTENDENT, AND PRIOR TO NOTIFYING THE CONTRACTOR OF COMMENCEMENT OF THE WORK.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT APPROPRIATE BLOCKING AND BACKINGS IS PROVIDED FOR ALL EQUIPMENT, FIXTURES, ACCESSORIES, CABINETS, HANDRAILS, ETC., FOR PURPOSES OF SECURE FASTENING. ALSO PROVIDE NON-COMBUSTIBLE HEAT DISPENSING BOXES FOR RECESSED POT LIGHTS INTO WOOD FLOORS, BATT INSULATED CEILINGS AND ROOF STRUCTURE.
- INSULATION SHALL BE INSTALLED WITH CARE. SQUISHED OR LOOSE FITTING INSTALLED INSULATION IS UNACCEPTABLE! INSULATION SHALL COVER THE FULL DEPTH OF STUD CAVITY, AND SHALL BE UNIFORMLY FLUSH WITH THE FACE OF THE STUDS.
- VAPOUR BARRIER SHALL BE A CONTINUOUS MEMBRANE AND BUILDING ENVELOPE. TEARS SHALL BE PATCHED AND CAULKED, AS SPECIFIED, UNDER CONTRACTOR'S SUPERVISION. ATTACH AND CAULK VAPOUR BARRIER TO WINDOWS, DOORS, ELECTRICAL OUTLETS, ETC. ENSURE COMPLETE AIR SEAL. TO ENSURE THAT ATTACHMENT OF POLYETHYLENE HAS BEEN ACHIEVED, USE MECHANICAL FASTENERS. FOLLOW THE INSTRUCTIONS OF THE MANUFACTURER WHEN INSTALLING PEEL AND STICK BITUMEN MEMBRANE. ALL EXTERIOR WOOD OR METAL STUD FRAMING SHALL BE PLACED ON A FOAM STRIP AS SPECIFIED, AND CONTINUOUSLY CAULKED BETWEEN PLATE AND PLYWOOD OR CONCRETE FLOOR BOTH INSIDE AND OUTSIDE.
- THE CONTRACTOR SHALL COORDINATE ALL ROUGH WINDOW, DOOR AND GRILLE OPENINGS IN BOTH FRAMED AND MASONRY CONDITIONS AS A WHOLE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUB-TRADES TO INSTALL ALL PRODUCTS SUCH AS BITUMINOUS MEMBRANES, EQUIPMENT (MECHANICAL AND ELECTRICAL), LIGHTING FIXTURES, ACCESSORIES, ETC., STRICTLY ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS. FAILURE TO DO SO CAN RESULT IN REJECTING THE WORK. FAILURE TO DO SO CAN RESULT IN RE-INSTALLATION OF SUCH AT NO EXTRA COST TO THE CITY OF WINNIPEG.
- SHOP DRAWINGS SHALL BE PROVIDED AND SUBMITTED TO THE CONTRACT ADMINISTRATOR FOR REVIEW. THE SHOP DRAWING SHALL BE REVIEWED FOR THE ARRANGEMENT OF ALL STRUCTURAL COMPONENTS, INCLUDING MEMBRANE, ENVELOPE, VAPOUR BARRIER SYSTEMS, ACCESSORIES, HARDWARE, AND OTHER SPECIALTIES, ETC. AS COMPRISE THE BUILDING AS A WHOLE. THE CONTRACTOR SHALL, AFTER REVIEW, FORWARD THE SHOP DRAWINGS TO THE CONTRACT ADMINISTRATOR. THE CONTRACT ADMINISTRATOR SHALL REVIEW THE SAME FOR INTENT ONLY. FABRICATORS SHALL NOTIFY CONTRACT ADMINISTRATOR IN WRITING WHERE DEVIATION FROM DRAWINGS IN DIMENSIONS OR EQUIPMENT SIZES AND LOCATION, ETC., DIFFER FROM THE INTENT OF THE DRAWINGS OR SUGGESTIONS ARE MADE CONTRARY TO THE DRAWINGS AS A WHOLE. ACCEPTED SHOP DRAWINGS SHALL GOVERN ALL SUBSEQUENT WORK.
- CONTRACTORS SHALL PROVIDE ALL NECESSARY MATERIALS, FASTENERS, ETC., WHETHER SHOWN OR NOT SHOWN, FOR SECURING AND FINISHING THE WORK AS INTENDED. CONTRACTORS SHALL NOTIFY THE CONTRACT ADMINISTRATOR IN WRITING OF UNIDENTIFIED ITEMS REQUIRED TO COMPLETE WORK. DURING THE BID PERIOD IN ACCORDANCE WITH B4. FAILURE TO DO SO CANNOT CONSTITUTE AN EXTRA AFTER THE BID OPPORTUNITY HAS CLOSED.
- CONTRACTOR AND SUBCONTRACTORS SHALL REFER TO THE TRADE DEFINITION AND INSTRUCTIONS TO BIDDERS WHERE CONFLICT BETWEEN TRADE WORK ARISES.
- ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND OTHER SPECIALTY DRAWINGS SHALL BE READ TOGETHER AS A WHOLE. STRUCTURAL ITEMS NOT SHOWN IN THE ARCHITECTURAL DRAWINGS SHALL BE INCLUDED IN THE WORK, WHERE CONFLICT ARISES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, CONTACT THE CONTRACT ADMINISTRATOR FOR CLARIFICATION.
- THE ARCHITECTURAL DRAWINGS SHALL GOVERN OVER OTHER DRAWINGS WHERE DISAGREEMENTS AND INCONSISTENCIES ARISE. IN SUCH INSTANCES CONTACT THE CONTRACT ADMINISTRATOR FOR CLARIFICATIONS.
- THE CONTRACTOR SHALL ENSURE THAT A HIGH QUALITY AND STANDARD OF WORKMANSHIP IS MAINTAINED THROUGHOUT THE ENTIRE PERIOD OF WORK UNTIL THE WORK IS COMPLETE. PROPER FIT SHALL BE ACHIEVED BETWEEN ALL COMPONENTS AS INTENDED, WHERE THIS CANNOT BE ACHIEVED, CONTACT THE CONTRACT ADMINISTRATOR FOR FURTHER REVIEW AND CLARIFICATION.
- THE CONTRACT ADMINISTRATOR WILL ASSIST IN ALL MATTERS REQUIRING CLARIFICATIONS OR INTERPRETATIONS, OR WHERE REQUIRED, TO PROVIDE ADDITIONAL DETAILS DURING THE SCHEDULED PERIOD OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL MATERIALS AND EQUIPMENT CAN BE TRANSPORTED TO AND INSTALLED IN THE LOCATIONS SHOWN ON THE DRAWINGS PRIOR TO ORDERING. RESULTING EXTRA COSTS DUE TO THE FAILURE TO COORDINATE WORK BETWEEN ALL SUB-TRADES IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

MATERIAL SYMBOLS

	EARTH		RIGID INSULATION		MARBLE		GLASS
	GRAVEL FILL		BATT INSULATION		CONCRETE BLOCK		TILE
	BRICK MASONRY		STEEL		WOOD FRAMING		FIBRE BOARD
	CUT STONE MASONRY		SAND FILL		FINISHED WOOD		ASPHALT
	CONCRETE		GYPSUM BOARD		PLYWOOD		SPRAY FOAM INSULATION

DRAWING SYMBOLS

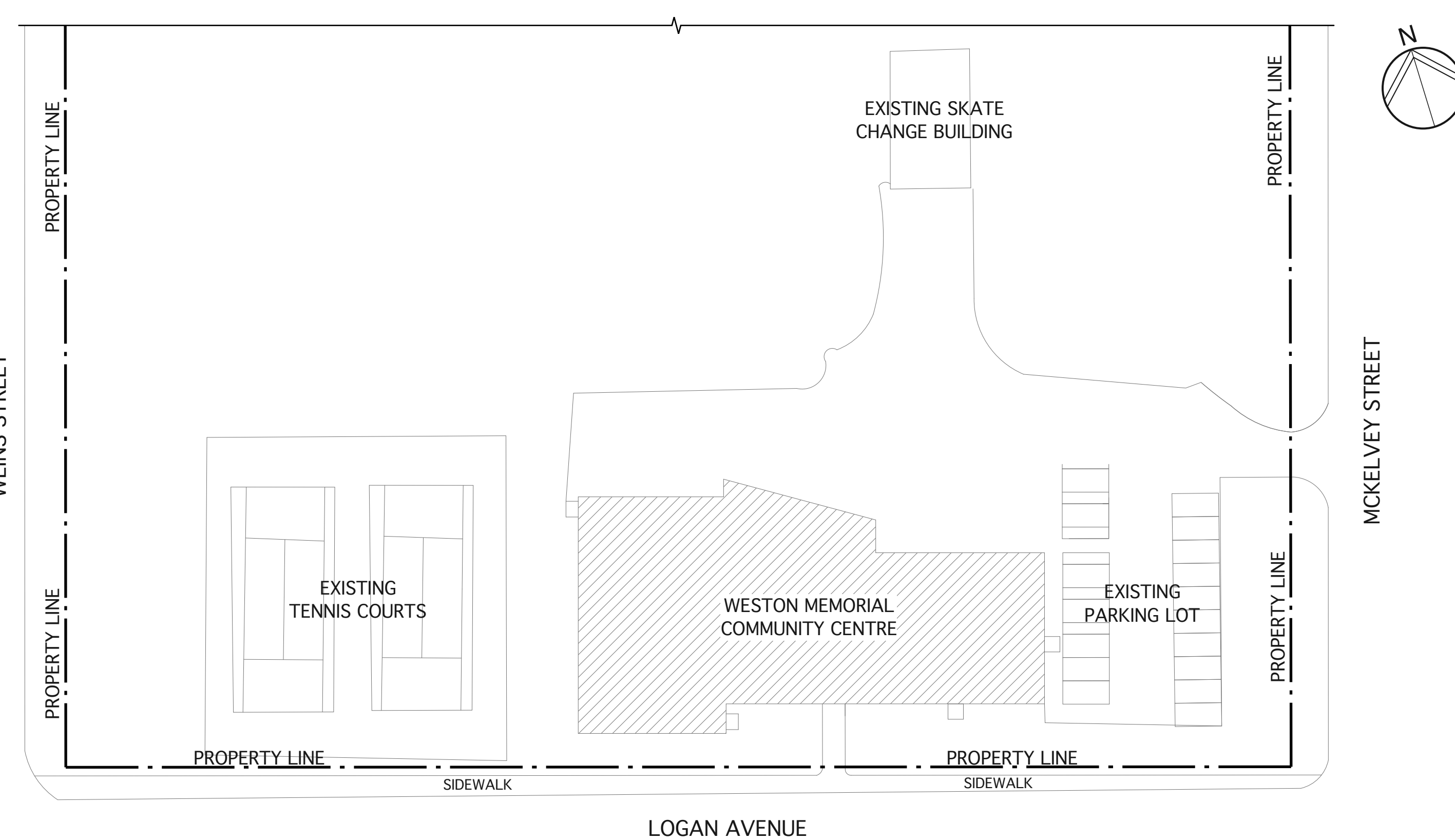
	WALL/ROOF TYPE IDENTIFICATION		GRID LINES		DETAIL SECTION MARKER		DETAIL MARKER
	DOOR NUMBER		TITLE SCALE 1:10		BUILDING SECTION MARKER		ELEVATION HEIGHTS
	WINDOW TYPE IDENTIFICATION		NORTH ARROW		EXTERIOR ELEVATION MARKER		CATCH BASIN
	ROOM NAME & NUMBER		EXISTING GRADE		INTERIOR ELEVATION MARKER		
	PROPOSED NEW GRADE						

ABBREVIATIONS

A/C	AIR CONDITIONER	INSUL.	INSULATION
A.B.	AIR BARRIER	INT.	INTERIOR
ADJ.	ADJUSTABLE	L.T.G.	LIGHTING
ALUM.	ALUMINUM	M.T.P.	METAL TOILET PARTITION
AN.ALUM.	ANODIZED ALUMINUM	MANUF.	MANUFACTURER
ARCH.	ARCHITECT	MECH.	MECHANICAL
BLDG.	BLOCK	MEZZ.	MEZZANINE
BLDG.	BUILDING	MH PM	MANITOBA HOUSING PROJECT MANAGER
B/O	BOTTOM OF	MIN.	MINIMUM
C.H.	COAT HOOK	MIR.	MIRROR
C.I.P.	CAST-IN-PLACE	MISC.	MISCELLANEOUS
CL	CENTRE LINE	MTL.	METAL
C/W	COMPLETE WITH	NTS	NOT TO SCALE
CLG.	CEILING	O.C.	ON CENTRE
COL.	COLUMN	O.D.	OUTSIDE DIAMETER
CONC.	CONCRETE	OH	OVERHEAD DOOR
CORR.	CORRIDOR	P	PLATE
C.T.R.	CENTRE	PDR.	POWDER ROOM
D.F.	DRINKING FOUNTAIN	P.T.	PRESSURE TREATED
D.W.	DRYWALL	P.L.	PROPERTY LINE
DBL.	DOUBLE	P.LAM.	PLASTIC LAMINATE
DIMS.	DIMENSIONS	P.LY.	PLYWOOD
DR.	DR	POLY V.B.	POLYETHYLENE VAPOUR BARRIER
DWG.	DRAWING	PREFIN.	PREFINISHED
DTL.	DETAIL	Q.T.	QUARRY TILE
DWG.S.	DRAWINGS	R.D.	ROOF DRAIN
E.J.	EXPANSION JOINT	R.O.	ROUGH OPENING
ELECT.	ELECTRICAL	R.S.C.	RESILIENT SOUND CHANNEL
ELEV.	ELEVATION	RTU	ROOFTOP UNIT
EPS.	EXPANDED RIGID INSULATION	R.W.L.	RAIN WATER LEADER
EXT.	EXTERIOR	RAD.	RADIUS
F	FRIDGE	REINF.	REINFORCED
F-F	FINISH TO FINISH	REQ'D	REQUIRED
F.D.	FLOOR DRAIN	REV.	REVERSE
F.N.D.	FEMININE NAPKIN DISPOSAL	S	STONE
F.D.V.	FEMININE NAPKIN VENDOR	SA	SELF-ADHESIVE
FI/SHG.	FACE OF FLASHING	S.C.	SOLID CORE
G.B.	GRADE BEAM	S.D.	SOAP DISPENSER
G.M.	GRAB BAR	S.H.	SOAP HOLDER
G.M.	GALVANIZED METAL	SIM.	SIMILAR
G.W.B.	GYPSUM WALL BOARD	SPL. PAD	SPLASH PAD
G.W.G.	GEORGIAN WIRED GLASS	STL.	STEEL
GA.	GAUGE	STRUCT.	STRUCTURAL
GALV.	GALVANIZED	PAPER TOWEL DISPENSER	PAPER TOWEL DISPENSER
H.C.	HOLLOW CORE	PAPER TOWEL DISPENSER & WASTE TO FINISH	PAPER TOWEL DISPENSER & WASTE TO FINISH
H.M.	HOLLOW METAL	T.F.	TEST HOLE
H.S.S.	HOLLOW STEEL SECTION	T.H.	TOILET PAPER DISPENSER
HT	HEIGHT	T.O.P.	TOP OF TYPICAL
HQR	HIGH QUALITY RELOCATABLE	U/S	UNDER SIDE OF
I.C.F.	INSULATED CONCRETE FORM	V.C.T.	VINYL COMPOSITE TILE
INCL.	INCLUDE	WD.	WOOD
		WDW.	WINDOW
		XFS	EXTRUDED RIGID INSULATION

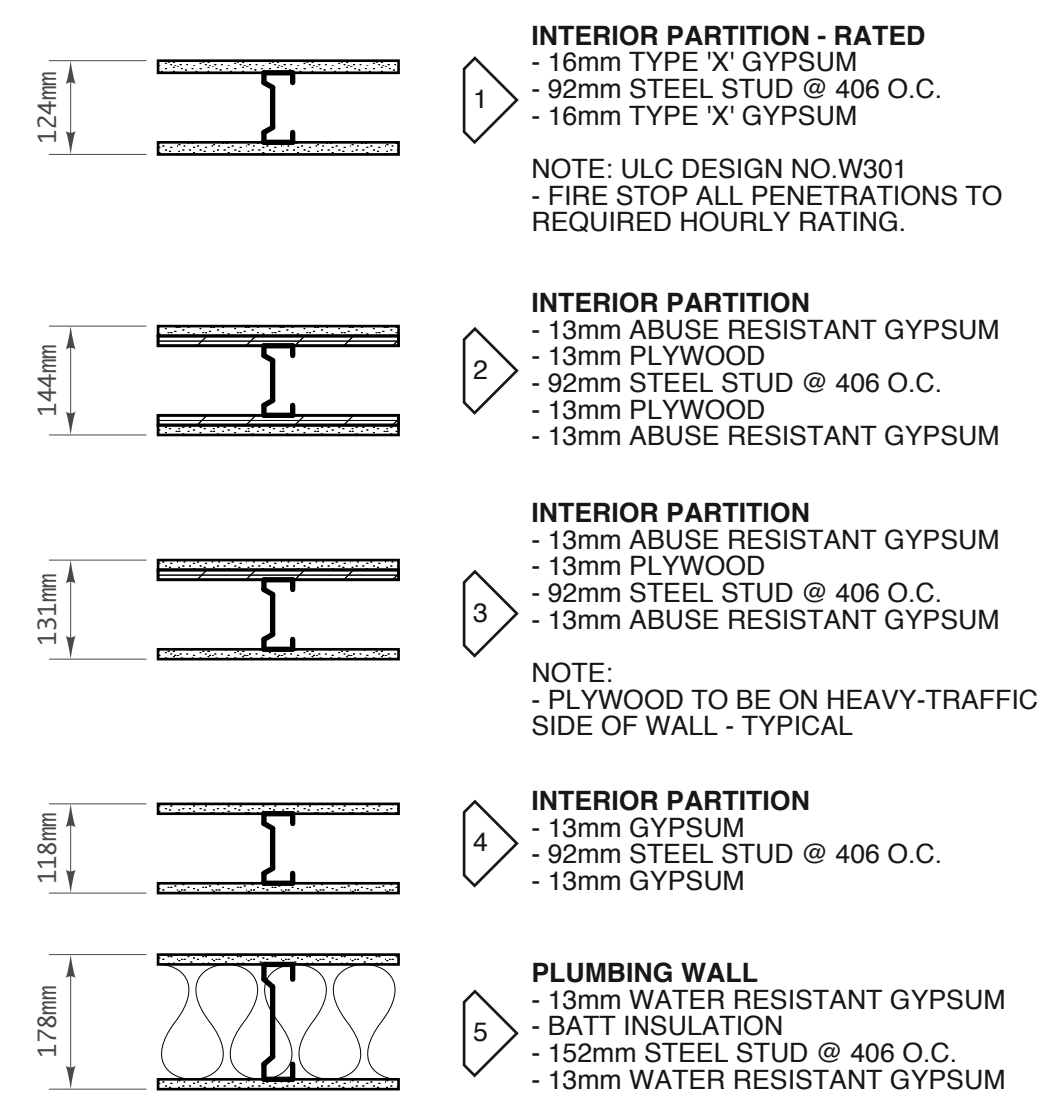
SITE PLAN - LOTS 5 - 7 & 10 - 12, BLOCK 5; LOTS 1 - 15, BLOCK 6, LOTS 16 - 26, BLOCK 6

SCALE 1:400



WALL TYPES - INTERIOR

SCALE 1:10



BUILDING CODE ANALYSIS:

MAJOR OCCUPANCY:	ASSEMBLY:	3.2.2.25 - GROUP A, DIVISION 2, UP TO 2 STOREYS,
	AREA:	PERMITTED MAXIMUM AREA OF 1000 SQUARE METERS ON 2 STOREY CONSTRUCTION FACING 2 STREETS
BUILDING FOOTPRINT:		967 SQUARE METERS
NO. OF STOREYS:		1 STOREY ABOVE GRADE ON SLAB ON GRADE FOUNDATION WITH SECOND FLOOR MEZZANINE
NO. OF STREETS:		CURRENTLY FACING 2 STREETS (MIN. 2 STREETS PERMITTED)
SPRINKLERS:		NON-SPRINKLERED
CONSTRUCTION:		COMBUSTIBLE & NON COMBUSTIBLE CONSTRUCTION
MIN. REQUIRED RATINGS:		1 HR. RATING REQ. BETWEEN SERVICE ROOMS AND JANITORS ROOM AS PER 3.3.1.21 & 3.6.2.1. COMBUSTIBLE ROOF ASSEMBLY: 45 MIN. RATING EXCEPT AS PER 3.1.14.1 (UNDER 1,000 SQUARE METERS FACING 2 STREETS)
SCOPE OVERVIEW:		INTERIOR RENOVATION OF 1 STOREY COMBUSTIBLE & NON COMBUSTIBLE CONSTRUCTION WITH SLAB ON GRADE FOUNDATION. SCOPE INCLUDES NEW FINISHES, PLUMBING FIXTURES, MINOR LAYOUT CHANGES AND ACCESSIBILITY UPGRADES. TWO NEW EXITS ARE REQUIRED TO MEET TRAVEL DISTANCE REQUIREMENTS AND TO ACCOMMODATE MORE THAN 60 PEOPLE IN MPR #1. THE EXISTING MEZZANINE IS TO REMAIN AS IS BECAUSE EXISTING STAIRS DO NOT MEET CODE REQUIREMENTS FOR RISE/RUN AND ACCESSIBILITY.

DRAWING INDEX

- ARCHITECTURAL
- A-0.0 COVER PAGE
 - A-1.0 GENERAL NOTES, SYMBOLS, ABBREVIATIONS & WALL TYPES
 - A-2.0 DEMOLITION PLANS
 - A-3.1 NEW MAIN FLOOR PLAN
 - A-3.2 REFLECTED CEILING PLAN & DETAILS
 - A-4.1 INTERIOR ELEVATIONS
 - A-5.1 WINDOW DETAILS & SCHEDULE
 - A-6.1 ENLARGED KITCHEN PLANS & ELEVATIONS
 - A-6.2 ELEVATIONS, MILLWORK SECTIONS & DETAILS
 - A-7.1 ENLARGED WASHROOM PLANS & ELEVATIONS
 - A-7.2 ENLARGED WASHROOM DETAILS & DETAILS
- STRUCTURAL
- S-1.0 NEW MAIN FLOOR MASONRY LINTELS
- MECHANICAL
- M-0.0 MECHANICAL LEGEND AND DRAWING LIST
 - M-0.1 MECHANICAL SITE PLAN
 - M-1.1 MECHANICAL MAIN FLOOR PLAN DEMO - PLUMBING
 - M-1.2 MECHANICAL MAIN FLOOR PLAN NEW - PLUMBING
 - M-2.1 MECHANICAL MAIN FLOOR PLAN DEMO - HVAC
 - M-2.2 MECHANICAL MAIN FLOOR PLAN NEW - HVAC
 - M-3.0 MECHANICAL DETAILS
- ELECTRICAL
- E1.0 ELECTRICAL DEMOLITION LAYOUT
 - E2.0 ELECTRICAL LIGHTING LAYOUT
 - E3.0 ELECTRICAL POWER AND SYSTEMS LAYOUT
 - E4.0 ELECTRICAL SCHEDULES AND SINGLE LINE DIAGRAM LAYOUT

revision

The drawings, specifications, revisions, addendums, and clarifications, must be read as a whole. Errors and omissions due to separation of the documents by the general contractor become the responsibility of the same.

This drawing must not be scaled.

The general Contractor must verify all dimensions, datums and levels prior to commencement of work. All errors and omissions must be reported immediately to the Architect.

Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.



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project
WESTON MEMORIAL COMMUNITY CENTRE - RENOVATION PROJECT
WINNIPEG, MANITOBA

sheet title
GENERAL NOTES, SYMBOLS, ABBREVIATIONS AND WALL TYPES

BID OPPORTUNITY #: 824-2014

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