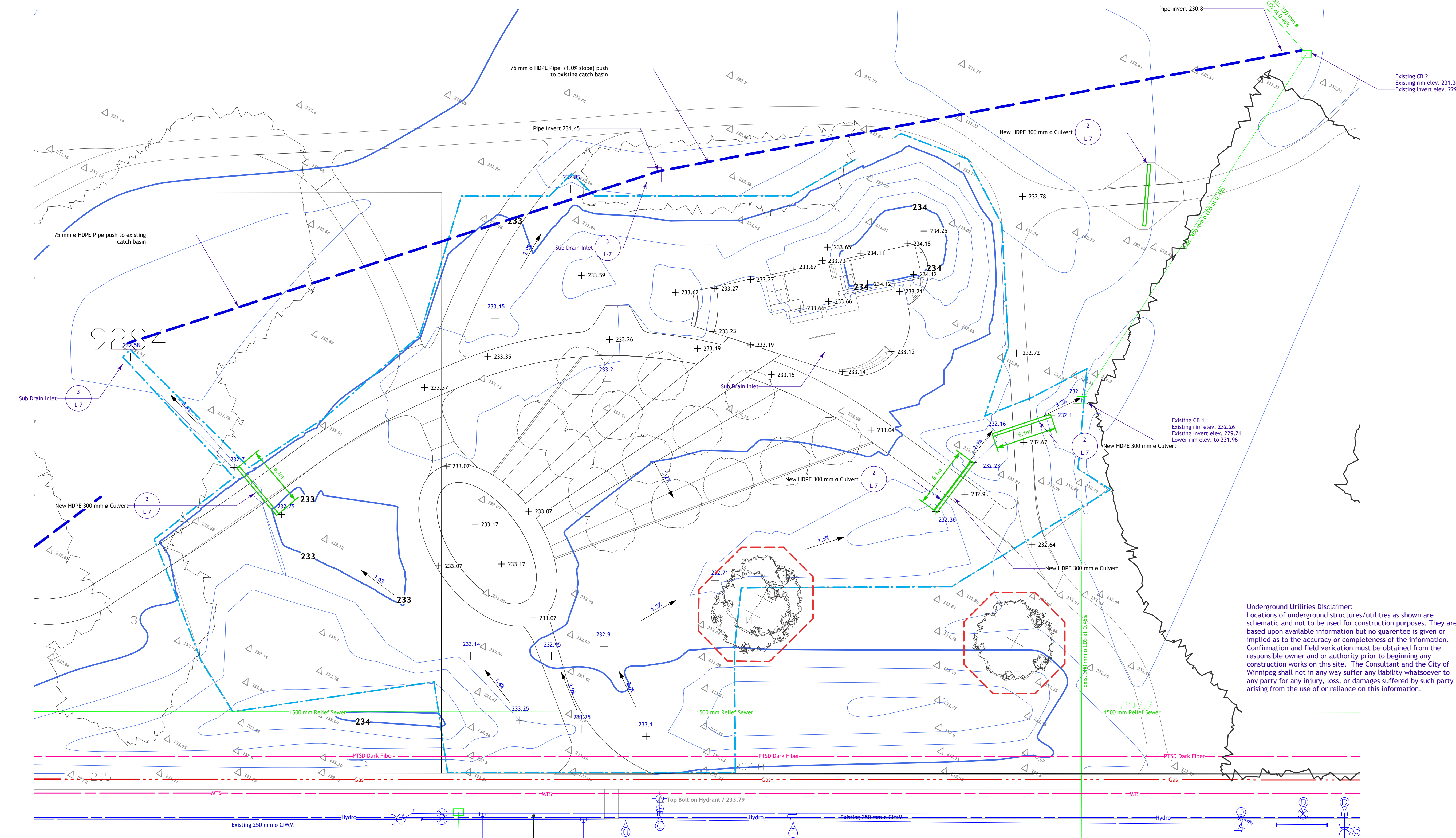


General Notes

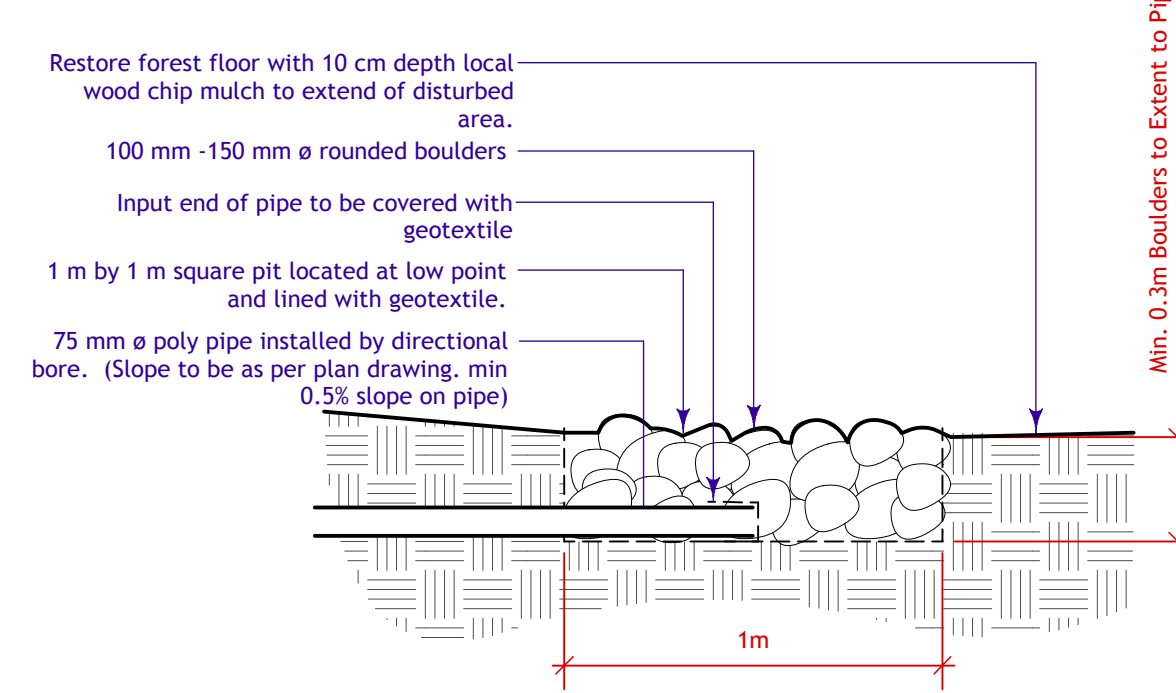
1. All existing trees, sidewalks, curbs, catch basins, culverts, survey markers, to remain are to be protected during construction. Any damage to them is to be made good by the Contractor. Maintain positive drainage into all catch basins and curb inlets.
2. All work is to be warranted for a period of not less than 1 year.
3. Contractor is to limit operations to the area within the area of work shown on the drawing. Should areas outside of this limit be damaged during the course of construction, Contractor is to make good the damage at his own expense.
4. Contractor is to obtain location of all utilities prior to construction. If using power equipment to excavate contractor must notify Hydro and Gas and telephone utilities and take steps to avoid damaging their installations.
5. All dimensions are in meters unless otherwise noted.
6. Spot elevations are to govern over contour information.
7. Confirm grades with contract administrator after initial grade staking and before proceeding with grading operations. Any deviation from the stated slopes is to be approved by the landscape architect prior to construction.
8. Contractor is advised that existing grades are given as information only and should be verified on site. Any discrepancies are to be reported to the Landscape Architect.
9. All grades shown are FINISH GRADES. Rough grading operations should establish a 'mud' grade sufficiently below finish grade to allow for surface materials. Grading contractor is to establish rough grade within +/- 2.5 cm.

1. This drawing shall not be used for construction unless signed and sealed by Landscape Architect.
2. Variations and modifications to the work shown will not be allowed without prior written consent of Landscape Architect.
3. Drawing and Specifications, as instruments of service, are the property of the Landscape Architect. The copyright is reserved in the name of the Landscape Architect. No reproduction may be made without the prior written consent of the Landscape Architect.
4. Contractors/bidders are hereby granted a limited licence to reproduce these drawings for the purposes of bidding. Such reproductions are not to be used for construction.

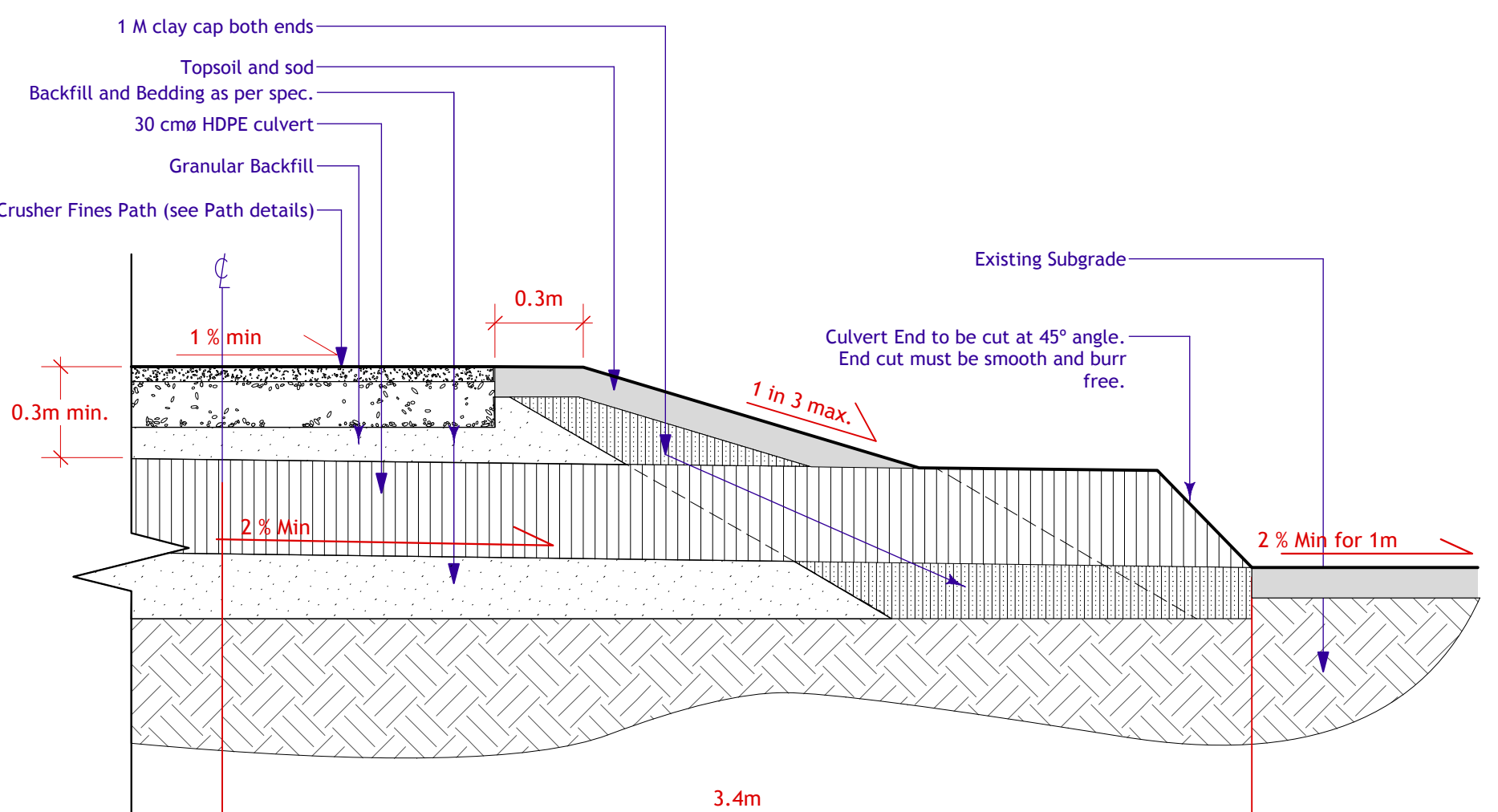
Underground Utilities Disclaimer:
Locations of underground structures/utilities as shown are schematic and not to be used for construction purposes. They are based upon available information but no guarantee is given or implied as to the accuracy or completeness of the information. Confirmation and field verification must be obtained from the responsible owner and or authority prior to beginning any construction works on this site. The Consultant and the City of Winnipeg shall not in any way suffer any liability whatsoever to any party for any injury, loss, or damages suffered by such party arising from the use of or reliance on this information.



1 Plaza Grading Plan
L-7 Scale: 1:200



3 Sub Drain Inlet
L-7 Scale: 1:20



2 Section through Culvert
L-7 Scale: 1:20

Killarney Ave.

Key

- contour existing major
- contour existing minor
- contour proposed major
- contour proposed minor
- spot elevation existing
- spot elevation proposed
- drainage swail (direction of drainage)
- Limit of Grading
- Gas Line
- Oil Pipe Line
- Power Line
- Storm Sewer (drain)
- Water Main
- Sanitary Sewer
- Combined Sewer
- MTS and / or Data

No.	Date	For Bid Opp	Issue Notes
1	7/2/13	For Bid Opp	

Consultant	
Project Title	Dalhousie Park 205 Killarney Ave. Winnipeg
Drawing Title	Plaza Grading Plan
Drawing No.	L-7