

Kilcona Park / Harbour View Recreation Complex
Site Conditions Evaluation Study

Prepared for The City of Winnipeg
Planning Property & Development Department

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Kilcona Park/ Harbour View Complex

Executive Summary

This study examines both the quality and suitability of site development in Kilcona Park and the Harbour View Recreation complex. It begins with a review of the city's and users concerns regarding the complex. This is then followed by a detailed examination of the physical conditions on the site coupled with an evaluation of the site's suitability for its intended use. The study then makes recommendations concerning the appropriate actions that should be taken to address these issues/concerns, provides an estimate of the cost of these works and develops a proposed staging of the recommended works.

The study found that the Harbour View Recreation Complex is a heavily developed facility that is now encountering issues centered on its age and the deterioration of its infrastructure. These vary from such things as a play structure which no longer comes close to satisfying the needs for a safe yet stimulating play environment, to ageing asphalt paving and a number of drainage issues throughout the site. Complicating this, is the fact that usage of the various facilities has changed over the life of the facility with features such as the Horse Shoe pits and the Shuffleboard being as underutilized while features such as the play structure and the mini golf remain heavily used. The study recommends that remedial work take place in the complex to address the aging infrastructure, maintain and update those features that remain in demand, and to show in a tangible way that the City remains committed to this regional park.

Kilcona Park was found to be an undeveloped facility now being used in ways not foreseen during the initial planning of the park during the 1980's. Compounding this is the site's history as a former landfill. When the landfill was closed a clay cap was placed over the landfill portion of the site. It continues to be monitored and managed to this day and will require some attention for the foreseeable future. At minimum further development and use of the park must account for the need to remove leachate and recognize that the portion of the park on top of the former landfill will continue to settle

over time. Consequently, areas that have sunken to the point they hold water must occasionally be regraded and the installation of features that do not tolerate movement well, such as asphalt surfaces, are not viable within the footprint of the former landfill. Similarly tree planting in such areas is not advisable as the trees would be lost, when regrading becomes necessary.

While some active recreation facilities exist in Kilcona, these are in relatively good condition and only require minimal repairs. By far the greatest need in Kilcona is for path development and infrastructure to support the large numbers of dog walkers and other passive users. On a similar vein, much of the park is exposed to the elements, especially wind, and there is some need for additional vegetation to mitigate this exposure. There is also significant need for trail signage and a park map so that the new or casual user can find the amenities that the park offers. This includes a site sign that clearly indicates where users are expected to park. The study also identified potential to redirect some maintenance activities so that users needs could be more directly addressed. This would not have a capital cost but would have implications for the physical appearance of the park. Finally there are significant security concerns centered along the front parking lot that need to be addressed with added lighting and improved vehicular controls.

The study recommends that considerable capital monies be allocated to Kilcona/HarbourView in order to protect and enhance the investment that this city has already made in this facility. Usage of the park is at levels that clearly justify the need for both this green space and the recreational options it affords. Moreover these monies can be allocated in a staged manner with the most critical aspects of the park being addressed earlier rather than later. It is through this continued attention to the facility that the citizens of Winnipeg will continue to be well served by this regional resource.

Overview

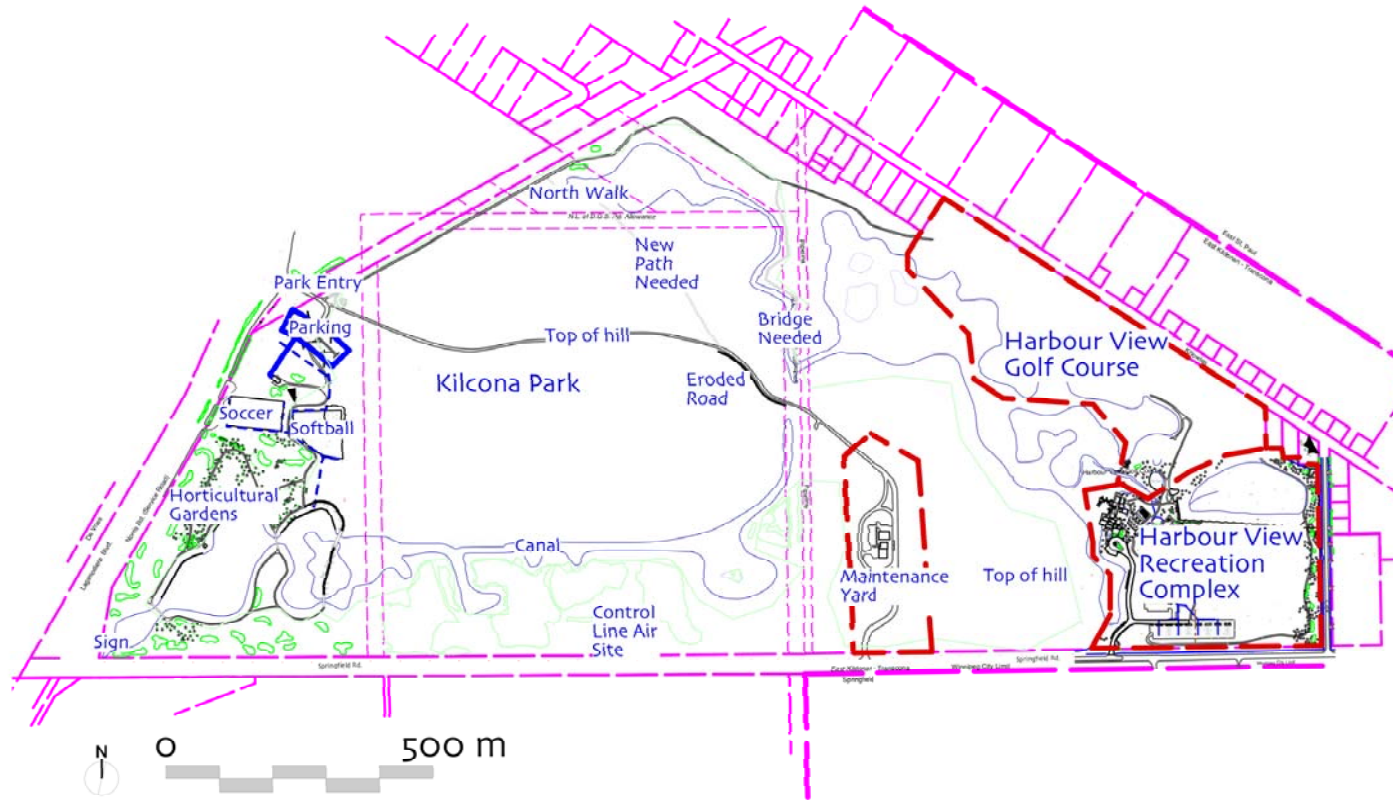
Background Information

‘Located in the northeast quadrant of the City of Winnipeg, Kilcona Park is approximately 440 acres in size. Initiated back in 1974 as a joint venture between the City’s Water and Waste and Parks and Recreation Departments, Kilcona Park includes a 220-acre sanitary landfill, an interconnected system of retention ponds, and a 1000-foot buffer zone around the landfill for recreational purposes and Harbour View Recreation Complex.

Throughout the late 1970’s to early 1980’s, the City invested significant funding into the development and maintenance of Kilcona Park. Unfortunately, by the earlier 1990’s major expenditure reductions and budget cuts curtailed further development funding for Kilcona Park.

Currently, like most municipal assets, Kilcona Park’s infra-structure is rapidly deteriorating and in need of immediate corrective measures. To ensure that the limited funding available is expended on rectifying the most important issues, A Site Conditions Evaluation Study is required in order to develop both short and long term action plans.’

(From the terms of reference)



Site Overview

General comments

While Harbour View and Kilcona are physically adjacent they have dramatically different roles and characters. Harbour View is a center for active recreation with facilities for tennis, mini-golf, an executive golf course, horseshoes and other similar sports and activities. Kilcona is a passive recreation park. While facilities exist for soccer and softball these are exceptional rather than the rule. The dog walkers in Kilcona form by far the greatest numbers of users in Kilcona in the park. Other users include casual strollers, toboganners, cross-country runners and others that will be mentioned below.

The biggest contrast between Harbour View and Kilcona lies in the level of development. Harbour View is highly developed and has the issues of age related to that level of development. Kilcona is, if anything underdeveloped. Site development is restricted to the southwest corner with much of the rest of the park left with a minimum of amenity.

It is very tempting in this sort of study to focus primarily upon the aging infrastructure but it is our view that the city, the park, and the users would not be well served by taking that approach. Instead we will focus on and set priorities on the state of the existing development when viewed within the context of its suitability for the activities of the parks users. This will allow us to prioritize tasks in a way that will directly touch many more users and deal both with facilities that are aging, and park activities that are not appropriately accommodated by the existing facility.

Methodology

The study began by reviewing the site with city personnel who are regularly in contact with the various users of the park. They gave input as to the user groups, their perceived needs, their requests, and some insight into how they used and in many cases contributed to the park. It was viewed as most important to recognize the contributions the users are making to this park as it is through these users taking an ownership role, that projects such as this park can be sustained over the long term. A second part of this review was to examine the city's perspective on the nature of work needed and in general the state of the facility at the current time.

This was followed by an examination the site. It consisted of walking the site several times, noting issues, where possible users, and in general the conditions found on the site. These items were documented and some consideration given to the scope of the issues noted.

The information acquired through these methods gave rise to a number of renovation and redevelopment tasks throughout the park. These are discussed below as are the costs associated with them.

Finally criteria was established where by these tasks could be prioritized, and an implementation strategy developed.

Initial input from city

General Issues

The input from the city included the point of view that it would be desirable to offer support to the many user groups of the park through the funds available for renovating the park facilities. The position was that this could be done through some renovations directly related to the needs of each of these groups, such as a bulletin board in at the Kilcona parking lot that could be used by the dog-walking club to communicate with their members and offer guidelines for appropriate use of the park. Similarly the Control line airplane club (as well as casual park users) would benefit should additional site furniture be available near their field.

Another point of view that came through in meetings with city personal was the idea that it would be helpful if available funds could be expended in such a way as to have a visible impact on the park. That is to say rather than simply focusing on infrastructure or refurbishment, if the monies could create visible so as to make it a clear statement that the facilities are being maintained.

It was noted that the usage of the park has changed over the life of the park and in some cases this may have generated new needs within the park. An example of this would be the increase number of persons using the off leash area and their needs for pathways and convenient waste disposal. On the other hand, some of the facilities such as the shuffleboard, are clearly underutilized.

In addition to this a number of specific concerns were brought to our attention in these meetings and they are noted in the discussion of the features to which they pertain.

User Groups

Sport Users at Harbour View

The needs of sport users at Harbour View are inextricably tied to the facilities that they use. For the most part these needs will be discussed with the review of the facilities at Harbour View. Some general comment regarding the change of usage pattern is

necessary. The facilities at Harbour View were planned over twenty years ago with the usage patterns and recreation trends in place at that time. Since its inception both the population and its recreation needs have been in a state of flux. Currently some of the facilities at Harbour View are heavily used and others are under utilized. At some point in the future it would be prudent to review these usage patterns and make decisions on the future growth of this facility.

At the present time it should be noted that the Tennis courts, while well used are not used to capacity. Also the shuffleboard court is seriously underused and, were the playing surfaces not in good condition, it would be a difficult decision as to whether it would be worthwhile to repair them or if they should be removed. It is our view that as an active use facility and a destination, that Harbour View should continue to offer a broad ranges of activities and that there should be some facilities aimed at each of the various age groups expected to be using the facility. It may in fact be wise to periodically review the mix of activities to ensure this is the case.

Reforestation Club

A number of park users, most notably the Good Neighbors Senior Center, have organized and are seeking to enhance the landscape and forestation of the park. Given that much of the park is under developed and exposed to very strong northwest winds, this is a welcome development and needs to be both encouraged and directed. By directed I mean that areas most in need of reforestation need to be identified so that the contribution of this group can be enhanced. It has also been noted that some areas of the park need to remain unforested. This is so that views remain open and more importantly so that the geese have a location that they find preferable to the golf course where their presence is destructive. Finally it would be inappropriate for these efforts to be directed to places where their success is at risk. The top of the landfill, while seemingly in need of forestation, remains in a state of change with the possibility of regrading very real. It is therefore, an inappropriate target for these efforts. The slope of the buffer area would be an ideal site for this work.

Recreation users at Kilcona

Running Club

Kilcona is home to cross-country running clubs which makes use of the trails and have been doing some work (wood chip paths) on top of the former landfill. This is a good use of the park but it should be noted that there is the risk of conflict with the dog walking (although this may be more perceived than real). Also, runners generally like to proceed at a steady pace. This means that the paths should be wide enough or the density of use low enough that they can proceed past slower traffic.

Picnic Shelter Users

The park currently has two picnic shelters, one in the washroom area and a second in the “horticultural” area of the park. The shelter by the washroom has a bar-be-que integrated into the east end. This shelter seems to be a consistent target for vandalism, despite being on the top of a hill partially visible from Lagimodiere. Part of this could be due to the fact that the washroom itself screens views from the street into the facility.

Toboganners

Toboganners currently use the parking lot at Kilcona and slide down the hill to the east of the lot. Generally there are few issues. Known items of concern include the limited availability of the washroom facility, lack of lighting in the parking lot and on the hill (a concern also expressed by the dog walkers), and the relative proximity of the softball backstop to the hill.

Snowboarders

While one might expect that the needs of the snowboarders are similar to those of the toboganners generally the snowboarders are looking for a more varied slope (with some bumps and jumps). It is also important to note that the slopes snowboarders seek

have much more articulation than the slopes ideal for toboganners. Because snowboarders tend to be older than toboganners the accommodation of both will help to attract families with children of divergent ages. For that reason it would be desirable to make some small modifications that would welcome this activity.

Dog Walkers

The dog walkers constitute a large and constant user group at Kilcona. Throughout the time spent on site as a part of this study, often in less than ideal weather conditions, this group constituted by far the largest number of users in the park. This will be moderated by the number of people that will be attracted to specific activities at the appropriate times of year (e.g. soccer games and golf users). It remains however, that the consistent use of the park for this purpose is one of the dominant activities.

It also remains that the park was not developed with the needs of the dog walkers in mind. These needs would include a strategy for collecting and managing the waste, moderate development of the trails in the park, signage, a bulletin board facility, and doggie bag dispensers. The dog walkers are organized and even have a web site (dog-club.org), which discusses the park and its amenities (and lack thereof). One page on this website even lists their wishes for further development in the park:

- “ 1. Lights in the parking lot would increase the safety for the people who must walk after dark. This might also cause a decline in the vandalism occurring in the park and to the vehicles of the people using the park.*
- 2. Increasing the number of litter baskets would improve the cleanliness of the park.*
- 3. Pine or spruce trees planted beside the road going up the hill or in the area beside the road, would provide some shelter on cold winter days.*
- 4. The addition of some picnic tables or benches by the parking lot and/or beside the road up the hill would give the dog owners and others using the park a place to sit and rest while at the park.*
- 5. There are washrooms available at the park. Occasionally they are open, but are locked by mid-afternoon. It would be a great convenience to the dog walkers and others using the park to have them available in the evening.*
- 6. The gravel road bordering the northwest side of the park and the road crossing the hill both have areas of bare dirt, which become very muddy when wet. Some gravel spread in these areas would enable the people and their dogs to walk without getting covered with mud.*

7. *A trail around the crest of the hill would provide more walking space making use of areas that have been ignored up to now*
8. *Access to clean drinking water, especially during the hotter months.”*

Control line Aircraft club

The “Perfect Circle Flying Club” operates a field within Kilcona park in a small space along Springfield road. Members and guests park on Springfield road and cross the ditch over a metal Bridge. They currently operate one flying circle and city personnel have suggested that they would like a second, as well as some site furniture. An area of bush has already been cleared to facilitate this expansion.

Cross Country Skiers

A number of paths would be available for ski trail development and or use. The only requirement for some of this to be used for Cross Country skiing is occasional grooming. It needs to be noted that this use is not compatible with winter hiking or dog walking because of the need to maintain tracks on the path. Also the fact that the site has both more and less (depending on where you are) contour than is desirable for cross country skiing means that some attention needs to be paid to the layout of these paths.

Ball Diamond & Soccer

Both the ball diamond and Soccer pitch are programmed use space. The fields being located close to both parking and to the washroom facility make the location ideal.

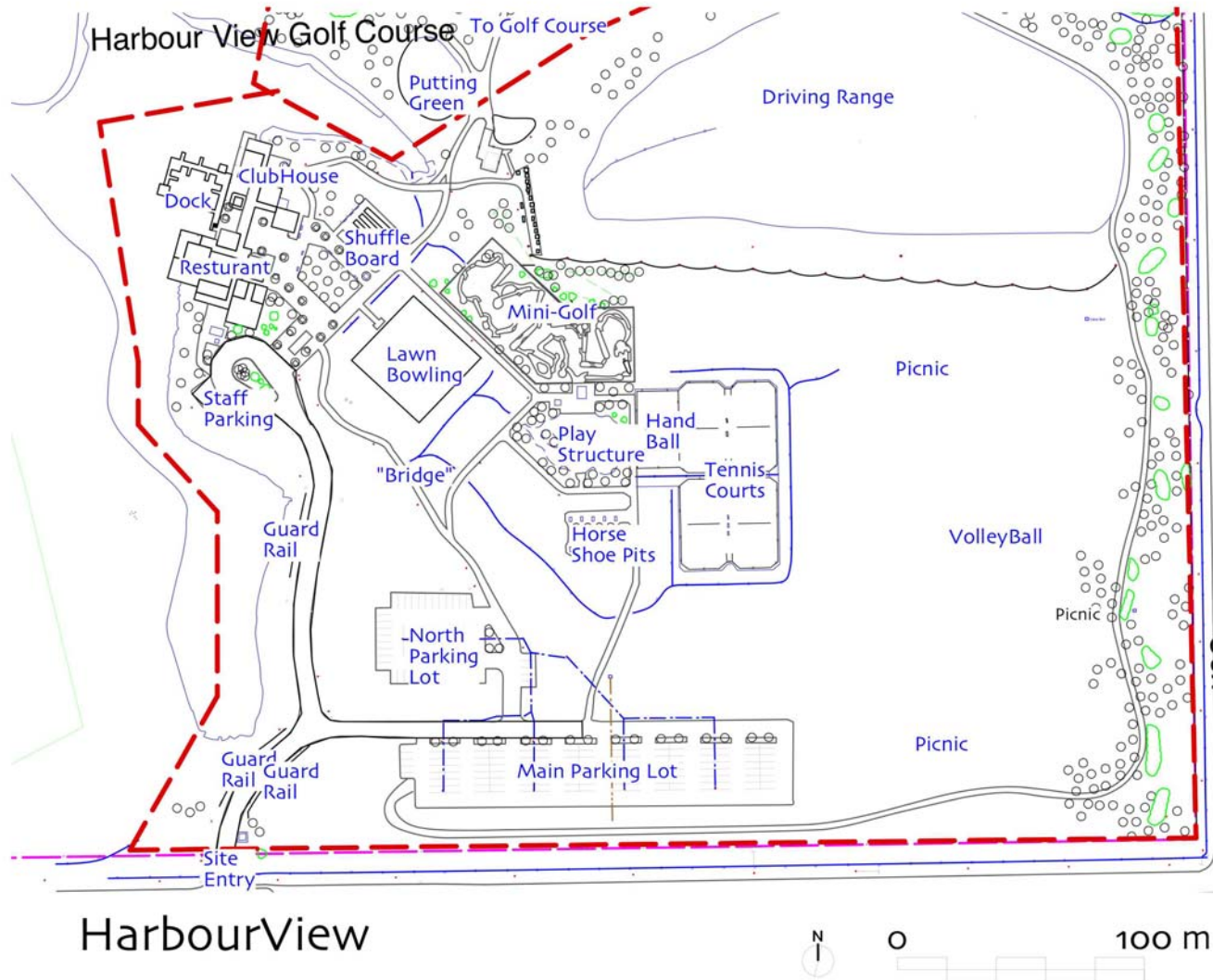
Discussion of Site Conditions

Harbour View

Overview

The Harbour View complex functions as a destination for active recreation. This includes an executive golf course, tennis, mini-golf, winter ice skating, summer paddleboats, etc. At the time of construction the facilities were generally well built and have subsequently received maintenance that in general can be termed adequate. It is important to bear in mind that many of the facilities in Harbour View are pay per use facilities. As a consequence it is reasonable for the public to expect that they will be in better condition or at least better maintained than similar facilities available for no charge on other sites. This is especially true of the tennis courts where courts are available in many local parks but do not meet the level of development present in the courts of Harbour View.

Notwithstanding the maintenance received, the exterior facilities at Harbour View have not received significant repair or renovation since the time of construction and many of these are now in need of attention.



HarbourView

Main Plaza

The main plaza at Harbour View serves as the central hub of the complex and is bordered by the restaurant, the clubhouse, the pro shop, locker rooms, the docks, and the lookout tower. One must pass through the courtyard in order to book space or get equipment to do most things within the complex. The plaza is constructed from unitized concrete pavers with timber headers.

At the current time the plaza suffers from a number of issues:

- i. Over time the plaza has settled resulting in uneven surfaces and, in several places minor water entrapment.
- ii. The timber curbing is rotting and has “popped up” resulting in an inefficient curb and an unkempt appearance. In at least one place this is a trip hazard.
- iii. Because of the relative grade of the plaza and the building, the lower course of siding on the building is rotting in several locations.
- iv. Trees located in tree wells within the paved area have died and not been replaced.
- v. In a number of locations where tree’s have died infill pavers have been added but the colour of the pavers does not match the existing and the pavers have not been placed in such a way as to seamlessly integrate with the existing plaza.
- vi. A unique wooden detail where the posts supporting the canopy meet the plaza is missing or partially missing. While the detail is not structural, the inconsistency and especially the fact that in many cases only part of it is there, contributes to the unkempt look.
- vii. One bollard lamp is missing and the post has been covered with a makeshift metal cover.
- viii. At the point where the plaza meets the water/ dock part of the complex the plaza surface has consistently failed necessitating an annual repair costing several thousands of dollars. This is a safety issue as well because the area once deemed to be in failure must be barricaded for the public safety. It is also important to note here that a concrete retaining wall (which has been clad in timber) is now

visibly leaning towards the water. The light standards attached to the retaining wall make this lean readily apparent to the casual observer.

- ix. Plantings within the plaza area require some infill and additional attention in the form of pruning.
- x. Stepping back from the plaza and looking at its fit within the complex one notes that the choice of paving stone, while one of the better choices available at the time of construction, is somewhat dated and that unit pavers more appropriate to the “Icelandic Fishing Village” theme are now available.

Other than annual repair to the portion of the plaza adjacent to the dock, the plaza remains serviceable if not ideal. Replacement of the plaza is indicated in the long term but given the substantial costs involved, is difficult to support in the short term, especially with the other issues on the site. That being said the plaza remains one of the central features of the complex. It is our recommendation that some attention be given to the minor cosmetic issues that can be addressed without significant cost. This will have the effect of improving the appearance of the site, showing in a clear way that attention is being paid to the complex, and, quite frankly, distracting from the larger issue of replacement which is not pressing and very expensive.

- i. The bottom of the columns should be restored to their former detail. This detail must be modified in some cases to accommodate the “sinking” of the plaza.
- ii. Trees be restored to the locations where tree wells are abandon or covered in.
- iii. Plantings be enhanced in the planters and new mulch be added to the beds.
- iv. Additional site furniture be added. Said furniture should be appropriate to the Harbour View concept, and consistent with that on the rest of the site.
- v. Annual plantings in the form of “Whisky barrel” planters be added to the plaza areas. (If only to distract from the paving...)
- vi. Where the deterioration and elevation of the timber curbing creates a trip hazard it should be modified to correct this condition.
- vii. The cost of redesign and eventual replacement of the plaza should be considered in the budgeting process.

Parking lots

The parking lots at Harbour View are asphalt paved. They are in fair condition, especially considering their age and do not warrant major changes at this time. It should however be noted that the parking lots at Harbour View are not visible from Springfield road nor are they visible from the buildings. As a result they present a security risk and should be monitored in some way, especially during times when the facility will be underused. It is also possible that from time to time these parking lots are used for purposes other than which they are intended and uses that are inappropriate to a facility that offers family based activities.

Entry Road

While the asphalt in the parking lots remains in fair condition the asphalt on the entry road shows considerably more ponding and in a few areas may in fact warrant attention. At one point specifically the drainage is set to go into the center of the road but fails to drain off into a catch basin or drainage ditch. This area is of especially poor asphalt, possibly due to the drainage issue, and needs to be addressed.

Consistently parking lot bumper curbs are used in the site to act as curbs. These offer the advantage of easy repair following damage as well as allowing water to drain “through” the curb. A number of these curbs have sustained damage and are due for replacement. The city may well want to consider replacing them with bumper curbs made from recycled products in order to support its’ green agenda.

Signage

Entry Signs

The Primary site entry sign for Harbour View is in good condition. One notes that the Black metal portion of the sign shows some signs of rust but it is also true that the “weathered” look of the black metal is consistent with the design concept for the site.

Internal Site Signs

The green internal site sign's that give directional information to visitors are generally in good condition. They require some adjustment so that individual signs are level (and this is probably something that will need to be done annually). Also some of the signs are in need of renewal of the green and white paint.

On a related subject one notes that there are no signs pointing to the location of the volleyball court or the picnic areas adjacent to the court. This, combined with the lack of path connecting to this area, should be corrected so that users will at least know that these activities are available.

Paths

Within Harbour View complex most of the paths are constructed of asphalt. As one would expect from 20-year-old asphalt there are cracks and irregularities in the paths. Occasionally this results in ponding although it should be said that this is minor in nature. We generally consider the asphalt paths to be in serviceable condition and are not recommending significant changes. There are minor areas where cracking can be seen and only very restricted areas where repair is indicated. Some crack filling should be contemplated to arrest further deterioration.

Guardrails

A number of guardrails are located along the entry road. These separate the entry road from the drop off to the lake/ drainage system. They are of a unique detail and appear to have been custom built out of massive timbers for the Harbour View Complex. Consistently they are leaning. This appears to be due to movement in the sub grade rather than a structural problem inherent in the guardrails themselves. In one location the post from the guardrail is broken off at the base and should be replaced. Two of the three guardrails are located on curves with significant drop offs to the water. The third is along a straight stretch where the drop off is slightly steeper than at other unprotected locations. It remains the fact that the leaning of the guardrail is unattractive but this must be balanced with the cost implications of replacing the guardrails.

“Bridge”

At the point where the path from the main parking lot to the Clubhouse crosses the main drainage ditch the crossing is managed with two vertical post retaining walls and a culvert. The posts themselves appear to be sound but are leaning. The correction of this condition would require removing the posts and rebuilding the wall. This may in fact cause stability issues in the asphalt pathway as well and result in considerable expense.

Because the path and wall appear sound we do not recommend that this problem be addressed at this time. The condition of the post wall should be monitored on an ongoing basis so that it can be dealt with appropriately should conditions change.

Drainage issues

Given the City’s continued need to address mosquito infestation for both human comfort and health issues, the issues surrounding drainage have become increasingly prominent. Within the Harbour View complex there are a number of swales with minimum slopes where standing water can be seen for some time following spring runoff or rains. These range from prominent such as the area between the plaza and the lawn Bowling facility, to hidden such as the swale at the northeast corner of the property, which fails to drain into the ditch. For the most part the ditches probably did drain at one time but minor movement in the sub grade, combined with the minimal slope in the ditch, have combined to make the current drainage inadequate.

Addressing the problem by regarding the ditches would be expensive and invasive, as it would necessitate significant re-landscaping of the complex. The transport of the excess material would further deteriorate the asphalt that is, in itself, in poor condition. That being said, it appears possible that a limited intervention focused on specific points in the drainage system may yield significant gains for minimal cost.

Because of the significant health risk and the public’s increased awareness of issues presented by standing water it is our view that the drainage issues in Harbour View should be viewed as a priority and addressed sooner rather than later.

Courtyard

The courtyard within the Harbour View club house/ restaurant is used during the summer months. Often is it used for catered events where people pay for the use of the space. At one point it contained a tree, a planting area, and was the permanent home to some furniture. Currently, this is no longer the case and it presents a sterile abandoned look. While it would make sense to defer the reconstruction of the courtyard until such time as monies are available to rebuild the plaza, it may take some time before this occurs. As a result it would be prudent to expend some resources on adding a modest amount of site furniture, amenity in the form of planters, and replacement of the tree. This would ensure that the courtyard remains viable in the short term.

Shuffleboard

Discussions with city staff tend to indicate that the shuffleboard facility is underutilized. The reasons for this are unclear but it may be as simple as no organized group promoting the activity. It is also possible that shuffleboard is out of favor generally. Nevertheless the playing surface of the court is in good condition so the court can be maintained at little or no cost to the city until such a time as utilization increases or there are other demands on the space.

While the playing surface is in good condition, the asphalt surrounding it is rolling and has sunken significantly in a number of places. It would be appropriate to resurface the asphalt in this area to correct this problem. Of more concern is the fact that the playing surface itself is no longer level and tilts in differing directions on different pads. Should their be cause to believe that there is a demand for this facility this tilt will have to be corrected.

Finally, the wooden curb at the perimeter of the court is rotting and in need of replacement. Logically this would be done either when the court is refurbished or when it is removed as part of a larger project.

Horse Shoe Pits

The horseshoe pits are of somewhat unusual construction with over size backer boards and no rear fence. The backer boards being boxes surrounding the pin instead of boards 120 cm behind the pin, suffer far more damage from being hit by horseshoes than should be the case. Also the possibility of being hit by a horseshoe bouncing off of the backer “box” is much greater than the same possibility in a standard court with the backer board entirely behind the pin. Finally, the lack of a fence surrounding the playing surface again increases the risk of people being inadvertently hit by an errant throw or ricochet.

During our initial meetings with city personnel the concern was put forth that the pitches were too close together to be safe. The Guidelines published by the Canadian Horse Shoe Association have been consulted and the pits, while irregular in other respects, are well within the stated requirement for separation between adjacent pitches.

Our recommendation is that the current pits be refurbished, the existing cribbing be removed, that a proper backer board be installed and that a 120 cm height chain link fence be built around the pits to reduce the risk of persons being hit by an errant throw or bounce.

Tennis Courts

The tennis courts are booked on a user fee basis. Because one is expected to pay to use the facility there is a stronger obligation on the city to ensure that the court is in good condition (as opposed to the free courts in other parks). Currently the courts have a number of issues, which need to be dealt with. These include:

- i. the asphalt has sunken relative to the fence posts and more importantly the concrete trench drain that extends through the center of the corridor. Looking at the asphalt it is possible that at some time in the past additional trench drains were present running north south and that these have been paved over. The issue here is that the asphalt no longer drains into the trench drain (leaving water ponding) and that a gap now exists under the fences at certain points.

- ii. The court surfaces remain in fair condition however in some places the asphalt is rolling and a few cracks have appeared. Also the paint on the court is worn.
- iii. A number of cracks in the asphalt have appeared adjacent to the courts (outside of the playing surface). These are sufficiently wide as to cause concern that deterioration of the court will be accelerated.
- iv. Benches between the courts need to be refinished
- v. The windscreen between the courts and at the periphery of the courts themselves is in poor condition and needs to be replaced.
- vi. The wall in court 5 is showing signs of wear and should be refinished.

It is our view that the court surface is currently playable but will be in need of replacement sometime over the next five years. If budgets will not allow for replacement of the surface in the very near future the cracks now appearing in the court should be sealed to slow the pace of the deterioration and the court surface repainted. It would appear to be difficult if not impossible to correct the problem with the trench drain without resurfacing the court and we recommend that a new asphalt overlay be considered. In order to prevent the recurrence of cracks in the same location the use of a slip layer or a geotextile underlay should be considered. Finally the replacement of windscreen should be a priority.

Mini-Golf

The mini golf facility has already received funds under this budget item with a replacement of the carpeting at a cost of \$13,500.00. This has made a significant contribution to its condition and had a dramatic visual effect. Despite this issues remain.

- i. The approach at most holes has a minor trip hazard between the existing concrete sidewalk and the carpet-covered surface. For the most part this is 1 cm or less but on some holes it is as much as 4 cm.
- ii. The soft landscaping surrounding some of the holes has sunken leaving the base of the concrete exposed.

- iii. The wooden obstacles in the holes show significant signs of wear. While this is not a major concern it does contribute to a worn/unmaintained feel to the complex.
- iv. Painted on numbers at each of the hole are barely readable and should be repainted
- v. Sand traps (painted concrete) have very little paint left on them and should be cleaned and repainted.
- vi. Some of the ornamental planting within the mini-golf needs pruning and supplemental planting (where shrubs have died and not been replaced.) In general the area would welcome additional trees and a reduction in the grassed area.
- vii. Just off the playing surface at the ends of the hole the soft landscape shows considerable wear as players tread on the grass.
- viii. Some exposed aggregate planters are used for annual plantings within the court. While one might think that these are consistent with the material on the walkways they reality is that they appear inconsistent with the general landscape theme of the complex and should be replaced with planters more in keeping with that theme.
- ix. On one of the holes these planters are used as a landscape hazard. There they are not successful in terms of working with the aesthetic of the course and again, should be replaced.
- x. The post and chain fence around the mini-golf is aging and has had some posts replaced on an annual basis. It is likely that this will have to continue as a part of the annual maintenance.
- xi. The limit of the course at the north side leaves a narrow gap between the fence and a planted bed. The fence at this location should have its location adjusted so that the landscape bed becomes the edge of the course. This will ease maintenance and create a better fit of the course into the landscape.
- xii. The water feature in the center of the course drains to the lake. It is fed off the irrigation system but the rate of flow is insufficient to ensure that the water doesn't stagnate

- xiii. One of the holes has a set of wooden stairs integrated into the surface. There is an extreme trip hazard on this hole at the point where the top step tread abuts the upper paved surface. This needs to be corrected as soon as possible and in the interim should be marked to prevent injury.

Play Structures

The play structures at Harbour View are a destination play structure (i.e. one would drive to the complex so that their kids could play on the structure) and as such, are relatively important in the greater scheme of things. In fact, were they to disappear, there would be little in the complex to interest younger children and this would threaten the concept of Harbour View as a family recreation complex. They are constructed on a “Pirate Ship” theme, which surprisingly fits well into the nautical theme of the complex in general, and the Icelandic Village idea in particular. In many ways the structures offer a wonderfully unique opportunity for children to exercise their imaginations as well as their bodies.

That being said the existing play structures were installed in the 1980’s some time prior to the implementation of the current guidelines for play structures. A number of hazards and risks are presented by these structures, which while acceptable at the time they were created, are nowhere near acceptable today. It is important to note that the new guidelines explicitly do not apply to play structures that predate them but create a quandary as we maintain those structures and significantly restrict our ability to enhance them. As well, the standards speak directly to acceptable risks and hazards in the play environment and, because they are directed to the safety and well being of our children, cannot be ignored.

One of the problems in dealing with these structures is that any new features must be added in such a way as to meet the standard. As a consequence it is often difficult to find trades that will work on one of these structures due to liability concerns. In dealing with deficiencies on the structures, one is usually removing rather than repairing. There is no opportunity to enhance. The structure will over time continue to lose play value to the point where it no longer contributes to the facility, and certainly cease to be a worthy destination for families.

Specific issues noted include:

- i. Chains offer a pinch hazard and may in some cases allow climbing into places where it is not appropriate,
- ii. The extension of the “bow” of the boat encourages children to climb out onto this part of the structure. The drop to the ground is significant as is the difficulty of children getting back to the boat if more than one child attempts this at the same time.
- iii. The entry to the slide is not fully enclosed and there is a risk of children falling between the slide and the structure.
- iv. The pier posts at the entry to the play area are worn and may offer a sliver hazard.
- v. The sand surface beneath the structure does not properly cushion a fall and should be replaced with a more appropriate material.
- vi. The gangplank offers a trip and pinch hazard.
- vii. The cannons have a significant pinch hazard.
- viii. The Timber climbing wall is constructed in such a way as it offers a significant pinch hazard as well as the very real risk of a child's fingers being crushed.
- ix. There is a drainage issue caused by sunken areas within the playground as well as a blockage at the culvert to the west of the playground.
- x. The sand surface appears quite low compared to the surrounding grade.

As you can see, if these risks are addressed by removing the cause of the risk, little play value will remain in the existing structure. For this reason we are recommending that specific items which present unacceptable risks, be addressed by the City immediately and that the long term replacement of this structure be given a priority in the city's budgeting.

Volleyball

The volleyball court in the eastern part of the complex is in fair condition. The sand is low and should be supplemented. Also, attention needs to be paid to the sand / sod joint as the grass will continually be growing into the sand. While these can be addressed here the reality remains that this is a maintenance issue and must be dealt with on a continuing basis.

It is also important to note that there is no site furniture located adjacent to the volleyball court, nor is there any signage pointing out that it even exists. Benches or a picnic table should be provided as should some shade. For this reason we recommend the provision on two benches as well as tree planting to the south of the courts.

Passive Picnic Area

The passive picnic area located in the periphery of the field that contains the volleyball court is in relatively good condition. The barbeque pits are generally intact and some benches are provided. It is notable that the benches in this area do not conform to the benches used elsewhere on the Harbour View site and this should be corrected. It is also recommended that some additional planting take place to address the need for shade, as all of the pits are located in full sun.

Docks

The docks at Harbour View were repaired recently to correct a problem resulting from rotting timbers. At the time an underwater inspection was conducted and the city informed that the rest of the structure was sound for the time being.

Driving Range (interface with the rest of the complex)

While it is outside of the scope of this study to examine the golf course at Harbour View and its related facilities, during the course of our site inspection it was noted that the separation between the driving range and the Volley Ball/ Picnic area is not marked as clearly as it should be. It is in fact possible to enter the target area of the driving range

from the east end of the park without crossing fences or seeing any signage which would indicate that this isn't a public access area. This should be corrected.

Lawn Bowling

The lawn bowling surface appears to be in relatively sound condition. While the grass remained dormant at the time of inspection and it was impossible to fully evaluate the condition of the grass itself, its appearance suggested the for the most part it was sound and that there were only minor areas of dieback (or poa annua). The wooden cribbing at the edge of the playing surface was in poor condition due to rot and should be replaced. In addition to this access to the field itself, from the clubhouse, is poor (one must climb across the wooden cribbing) and this should be corrected when the cribbing is replaced.

Fences

Post and Chain

The edge of Harbour View Complex and Springfield road is controlled with the use of a post and chain fence. While the fence is in generally good condition (most of the pressure treated posts being sound) many of the posts are now leaning. This does not have implications for their function, but does contribute to the aging appearance of the complex. The leaning is confined to posts located in bermed areas and is most likely the result of movement in the sub grade following construction.

The chain itself is in some places missing, in some places good condition galvanized chain, and in other places sound but rusty. The reality here is that the fence is seen from a distance and a decision really needs to be made as to whether the chain is really necessary at all. Should it be viewed as unnecessary the chain could be removed. Should the decision be that it plays a role the missing sections should be replaced with galvanized chain.

Given the general condition of the fence it is unreasonable to believe that straightening the fence would be worthwhile from a cost point of view.

Finally it should be noted that small numbers of these posts have deteriorated and will need to be replaced. It is likely that some numbers will have to be replaced on an annual basis for the foreseeable future.

Chain link

Bounding Harbour View on the east and north sides is a chain link fence. The fence is generally in good condition and appears to be sound. Occasionally the fence appears to be leaning, generally when located on slopes, but the degree of lean is not sufficient to believe that the fence will fail to control access to the site. There is one place in the fence along the Golf Course where the fence requires repair to the mesh because it has been pulled apart at a joint. This needs to be repaired.

Trees

It has been twenty years since the initial planting at Harbour View. Some of the plant material, especially trees, are in good condition, some are struggling and some have died and been removed. It is important to note that a portion of the tree planting was done with fast growing trees such as willows and poplar and that these trees are now approaching maturity. It would be appropriate to consider planning for a succession planting of longer-lived trees so that when we begin to lose significant numbers of these trees, the character of the place is not lost.

A number of trees were planted in individual planting holes within lawn areas. These has met with mixed success. Beyond the maintenance issues of having to trim around significant numbers of objects in the grasses area there remains the larger issue of the competition of the trees roots with the grass for water and nutrients and most recently, due to the increased use of chord based trimmers, of damage to the trees bark due to over zealous trimming. The latter has taken its toll on the trees of Harbour View and in some cases those of Kilcona as well.

Planting beds

The planting beds located throughout the complex need some attention. The beds adjacent to the clubhouse complex need significant pruning, some clean up and replacement of some plant material that is no longer living. Planting beds further away from the clubhouse can accept a generally lower level of maintenance but would benefit from additional mulching material, infill planting where shrubs have not performed well, and re-edging.

Miscellany

A number of locations within the Harbour View Complex should receive attention but require a minor amount of work. These include:

- i. Raising the grade at the base of the transformers located south of the lawn bowling
- ii. A number of valve box covers need to be replaced. This is especially true of a number of covers constructed from plywood and located near the Volleyball area.
- iii. Insulation at the base of the parking lot kiosk is exposed and deteriorating.
- iv. Site furniture, especially benches, near the parking lot, in the picnic area, and adjacent to the play structure are of a style that is inconsistent with the “Harbour View’ furnishings near the club house. One style of bench should be used consistently throughout the site.
- v. Containers used for planting annual flowers are of inconsistent design/style. While the whisky barrel planters near the clubhouse work well with the concept, the more recently added, exposed aggregate planters do not.
- vi. The bases of the black light standards are showing signs of wear with the paint worn off. They should be repainted.

Kilcona Park

Overview

While Harbour View is a heavily developed facility Kilcona is, if anything, an underdeveloped facility. While we recognize the need to have areas that are left with a minimal level of development, much of Kilcona falls below this minimum level to the point that the users of the park are not adequately accommodated. This includes things such as paths not being marked, or not being passable after a rain, a general lack of site furniture, not to mention garbage cans, and an incomplete attempt at securing the perimeter of the park. It is our view that while the facilities at Kilcona may require minimal amounts of repair or upgrading, the real and urgent need at Kilcona is additional development so that the park may better serve its users.

Complicating development at Kilcona is the parks history as a land fill site. The hills in Kilcona are the product of that history and have special needs and limitations when it comes to development. At the time the landfill was closed a clay cap was placed over the landfill and this effectively limits the amount of ‘residue’ that could make its way to the surface. It remains a fact however that the landscape over the fill areas is in a state of movement and this will preclude the possibility of developing the area to ‘hard’ surface features such as asphalt parking lots or pads. Indeed the possibility of any built structure in these areas is questionable and should not be undertaken without extensive scrutiny.

It is also the case that leechate must be removed from the park on a regular basis and that monitoring will continue for the foreseeable future. At some point in time it may also be necessary to address the settling in the top of the former landfill to ensure that it does not hold water. This would involve the addition of clay fill in these areas (three at present) and require remediation both on top of the new fill and over the access route. It would seem judicious to focus reforestation efforts in areas where such activity is not likely at this time.

The landscape in the park is varied in its nature. The South West corner is dominated by ornamental plantings with paths and views of the ponds. Grass is cut

regularly and the general feeling is that of being in a large garden. To the west of this is a stand of native trees that have the general character of being in the wilderness or at least of taking a walk through the bush. Much of the former landfill is simply grassed and cut on a restricted schedule. It now has the character of the prairie (if not the appropriate species...). The portion of the park along the north boundary and especially near the north east pond, has had some attempts at reforestation but is so isolated that it receives little use. Finally the portion of the park lying west of the maintenance yard is similar in feel to the South West corner but is again so isolated that it does not receive the level of use that would justify the effort and resources necessary to maintain it in its current state.

One of the overwhelming facts of the park is the huge amount of grass that is regularly cut. It would seem possible that this could be reduced and some consideration given to “right sizing” the maintenance so that the some efforts of city personnel can be redirected to maintaining plantings. Also a large number of trees have been planted in these grass areas and are regularly damaged by lawn cutters and weed trimmers. If the grass could be kept back from the tree trunks (mulch or roundup) this would again have a benefit in that less damage would be sustained by the trees and less time spent maintaining the “lawn”



Kilcona Park

Control line air site

The control line air Club has a space located along Springfield road. They have installed a sign along the road as well as a “bridge” to allow people parking along Springfield road, access to the flying area. Their flying area itself consists of a concrete circle (approximately 2m ø) and a relatively flat circular take off and landing area. It appears that the ‘bridge’ as well as the concrete circle was constructed by the club.

While the facility seems to meet the needs of the club in review with city personnel it appears that they have some desire for a second flying circle and pad. As well it is noted that at present there is no site furniture within the general vicinity of their location. Finally the flying area, when approached from the native trees located to the north of it, is not properly signed so that the general public casually walking through the park, could be aware of the potential hazard and be watchful.

It is our view that all of these things should be accomplished or accommodated but that the additional signage should be given a priority.

Reforestation Issues

As was noted above, there are groups willing to contribute and enhance the park in terms of reforestation. Clearly this is a need as the windswept “hill” which is the former landfill, becomes almost uninhabitable at times. Even for Winnipeg the conditions are extreme, making this a difficult site. It should be noted that on the hill opposite the Harbour View clubhouse some attempts at reforestation have begun as numerous willow cuttings have been inserted into the hill.

Sporting facilities

Softball

The softball field is generally in good condition. Some minor issues exist which could be addressed by restretching the chain link fence backstop and reattaching it to the

posts. Also, the infield mix has compacted and is low in a couple of areas. The addition of 5 cm of new infield mix on top of the existing would correct this issue.

Soccer

The soccer field is in fair condition. As is typical of fields there are substantial wear areas in the center of the field and near the goal creases. In addition the posts are in desperate need of a coat of paint. It is our recommendation that the existing posts be removed and movable posts installed. These posts could then be moved as needed to manage the wear on the grass-playing surface. Following this the sod could be repaired at the wear areas.

Informal Paths

South side of “Canal”

The area running east west just north of Springfield road and south of the elongated pond contains a native stand of trees. The stand appears to be in generally good health. Use of the area appears to be restricted to the Perfect circle flying club and casual users on a path along the north edge of the trees. This path is informal and could benefit from the addition of wood chips or gravel in selected areas so that it would be usable during periods of wet weather. Further to that a number of trees were planted along this path, some have survived and others have not. Those that have not survived should be removed. In addition, the metal stakes used to support the trees when they were initially planted remain. These should be removed.

North Side of “Canal”

The area to the north of the canal is an elongated space that essentially is comprised of a ledge running east – west. To the south is the “canal” and to the north a steep slope representing the edge of the landfill. At one point, approximately one third of the way from the west to the east the edge of the water has been reinforced with the installation of stone rip rap. While officially outside of the “off leash” area this area

essentially functions as one off leash area. The openness of the area and the lack of tall vegetation in this portion of the site does not create a strong positive image and the walk is much less pleasant than the same walk along the south edge of the canal. Otherwise the only issues here are minor drainage issues.

Over the Top

The top of the former landfill is characterized by being windswept and exposed. There is no shade, no shelter, an uncomfortable walk up the hill and really no indication of where the existing road goes. Furthermore the existing gravel road does not function well in wet weather (becoming soft) and shows some evidence of erosion (at the east end before one gets to the maintenance yard). There are a number of low areas within the clay cap (they can be clearly seen in the air photo) and in at least one case the wet area is beginning to see the colonization with volunteer trees (willow/poplar). This is a positive development and bodes well for the future insofar as it point out that the clay cap can support larger vegetation. It is unfortunate however, in that these areas are likely to require some remediation in the future as the fact that they do not properly drain is hardly acceptable for a former landfill site.

North walks

The walk from the Kilcona gate along the north road and then following the south edge of the North/east Lake is reasonably attractive (especially as compared to the equivalent walk over the top of the landfill). It appears that an informal path along the waters edge and winding through some of the planting there is in the process of being established. This is a positive development and we would like to see this supported with some development of the path to make it visible for users not familiar with the park. Further to this some of the plantings have not survived and should be removed as well as the stakes for plantings that have survived.

If one takes the north walk and continues on the road past the North/east Lake one will pass through the former nursery area. This is not seen as a problem but some signage may be indicated (if the nursery continues in use) and tree spade holes should be barricaded or not left open. After passing through the nursery one reaches the gates to the Harbour View Golf course which should be left shut (not the case during the course of this study) or at least signed to that one would know that they are leaving the public portion of the park.

To the south of this area is a relatively large “peninsula” which would extend the trail area in the park except for the fact that it is a “dead end”. It would be useful to integrate this portion of the park into the trails by building a bridge across the “Lake” at this point. Should this be done it would establish a route walking the entire perimeter of the park for a total length of approximately 5.8 km. It would also create a loop back opportunity along the north part of the park. It is anticipated that this would be of interest to hikers (looking for a modest hike), cross-country runners, cross country skiers, and dog walkers.

Signage

Other than the main site sign little signage exists in Kilcona Park. For a casual user of the park it is unclear as to where the off leash area starts and ends with the consequence that the park has largely become, in effect if not policy, an off leash area. For new users it is not clear what the park has to offer or even how to access the features of the park. While the ‘horticultural’ portion of the park is prominent and can be seen from Lagimodiere, as can the picnic shelter and the playing fields, the longer more naturalized walks are not readily found and thus remain the preserve of those who know the park well. Further to this the most prominent “natural walk from the parking lot is over the top of the landfill and this is one of the least attractive walks in the park. Clearly there is a need to provide directional signage throughout the park and a master sign in the main parking lot. This could be a large site map showing the limits of the off leash area as well as the various parts of the park and the path layout (and distances). It would also be an option to use part of this proposed sign as a bulletin board that could be used by the various user groups (the dog walking club has asked for this.)

In addition to the primary sign some supplementary signage should be provided throughout the site in order to provide continuity for the users. (E.g. confirm that they are on the trail that they think they are on.) These signs can be small and would not become a major budget item.

Parking area

The west parking lot at Kilcona is in fair to good condition. There is some moderate cracking on the asphalt surface and some crack sealing is indicated but otherwise the asphalt is serviceable. The parking lot has a two center islands with tree plantings. While generally the trees are in good condition it needs to be noted that they are showing signs of damage at the base. This is likely due to over aggressive use of cord line trimmers.

There are security issues at the Kilcona parking area that need to be addressed. While the area is visible from Lagimodiere, it is not lit. This has been a request of the Dog walkers and it has been pointed out by other sources as well. It would be desirable to address this by providing some degree of lighting in the parking area.

The access to the parking area is coincident with the access to two service roads, the first following along the northern boundary of the park and the second proceeding due east over the top of the landfill. These roads are currently secured by a chain strung across between two bollards. It has been suggested that for security purposes it would be more appropriate for this to be controlled with a farm gate.

Washroom facilities

The washroom /picnic shelter is located on the crest of a hill. A number of users have noted that the washroom hours are restricted and it would be preferable if the washrooms could be opened during the primary hours of usage for the park. This was also requested by the dog walking club. The number of casual users in this portion of the park even when weather is not ideal and there are no scheduled events is considerable

and this should be viewed as a necessary service. As a side note, at no time during our inspections of the park, were the washrooms found to be open.

The washroom is also a target for vandalism and, in fact, was set on fire during the course of this study. It would be advantageous if the lighting in this area could be enhanced with the hope that this will reduce the problem.

Bridges

The precast concrete bridges in Kilcona are in remarkably good shape. Issues related to them are limited to:

- i. The life ring on some of the bridges is no longer present. It needs to be replaced.
- ii. One of the bridges has a brass insert in the limestone railing. The limestone at this point is in poor condition and needs to be replaced.
- iii. In a number of cases the point where the asphalt path meets the concrete bridge approach is a trip hazard.
- iv. The soft landscaping at the edge of the grouted riprap has settled/eroded. This needs to be corrected.
- v. In some cases the grouted riprap has pulled away from the base of the bridge. This gap should be filled with an appropriate material.

Retaining walls

The south basin of the southwest lake is bordered on one edge by large limestone blocks. In many cases these blocks are no longer sound and are beginning to split or crumble. We do not believe that they pose a significant risk to the public, nor should they be scheduled for replacement because of fears that the waters edge at these points will erode. They do not present a “clean” edge or pristine edge and, at this time, this is the only basis for justifying replacement. It is our view that they should not be replaced in the foreseeable future.

Asphalt Paths

Extending from the parking lot and throughout most of the “horticultural” area of the park are a series of asphalt paths. These are generally in fair to good condition with a very few localized exceptions. Most of the exceptions are in the area between the playing fields that is imperfectly drained. It is reasonable to conclude that the breaking up of the asphalt at these points relates to that drainage. The correction of the drainage issues at these points is not likely to be cost effective and, as a result, we are recommending only local repairs to the asphalt. It is understood that the patched asphalt will not have the lifespan it would have had the drainage issues been addressed. In a few localized areas the grass at the edge of these paths needs minor sod repair due to shifting or wear.

The other aspect of the Asphalt paths that strikes one is that they do not appear to have been completed. If one considers the two easternmost bridges one will see that the asphalt path extends to the south approach of the south easternmost bridge but does not continue at the other side of the bridge. The bridge immediately to the north of this location is not connected into the path system at all. This has resulted in increased wear on the grass area (and the presence of some mud after a rain) as well as the general feeling that the park is not finished. We are recommending that the asphalt paths be extended so that the loop path is complete.

Trees

A number of trees in the horticultural portion of Kilcona, and the parking lot, are suffering repeatedly from damage due to lawn mowers or corded trimmers. Grass from the base of the trees should be killed and some mulch provided to that the need to trim would be removed or reduced. This will both protect the resource and, in the long run, reduce the inputs needed to maintain the park.

One other possibility is to reduce the grass cutting amongst the trees. While this is unlikely to be acceptable in all areas, many locations exist where this is a reasonable strategy and appropriate to the extent and type of use the areas receive.



Existing Plan View



Proposed Plan View
Showing areas where
Grass is to be kept long

Grass Cutting Concept

Planting beds

The planting beds in the horticultural portion of the park have many gaps, and are in need of additional pruning, a top up of mulch, and infill plantings. It is the hope that if we can reduce the grass cutting requirements, that some of these plantings can receive some additional attention. As a budget item the beds should be brought up to a current standard with the addition of planting and additional mulch.

“Natural Areas”

Many of the “natural” areas in the park, such as the aspen grove along the southern edge of the park, have had some attempts at reforestation. This planting of trees has met with mixed success and needs to have stakes removed (as well as some of the plantings that were not successful). Also it would be desirable to improve the paths in much of this area. In a number of places the trail is grass and is able to sustain the traffic it receives. As it winds into the trees traffic becomes concentrated and light becomes less with the result that the grass disappears and the trail becomes mud. This is impassible after a rain and needs to be upgraded. Even the provision of wood chips over these areas would make a significant contribution to the quality of the user experience, and at a minimal cost.

Dog Issues

We have already noted the sheer numbers of the dog walkers (both organized and casual) and some of the contributions that they have made to the park. It needs also to be said; that the sheer size of Kilcona really lends itself to this as a use, and that the problems in some parks of dog feces seem to be almost nonexistent at Kilcona. These users clean up after themselves and are a great asset to the park. The fact that they not only use the park but also populate it during times of inclement weather and create a continual presence in the park should not be underestimated in value as it has greatly reduces the risk of vandalism in the less used portions of the park. We have also noted that the dog walkers have made some modest requests and it is our view that no small

effort should be made to accommodate their wishes. There remain however, some broader issues, which must be considered.

Off leash areas

While Kilcona has an off leash area it is not clearly marked and is not delimited on site by signage or even a map. This makes it difficult for users to know where it begins and where it ends. It is common to see off leash dogs throughout the park and for the most part this does not appear to be problematic. Given this and the sheer number of dog walkers in the park it would seem reasonable to expand and enhance the off leash area. While it would be inappropriate for the off leash area to extend into the active use playing fields some consideration should be given to whether it has a place in the horticultural park lying to the south of this area. Certainly it would be appropriate in the area lying along the long “canal” to the east of this area.

In discussions with city personnel the position has been put forth that there may be a conflict between the off leash and the cross-country running (and clearly there is an issue with the control line aircraft). It is our view that this should be reviewed with the user groups in question and the possibility of making the area off leash on a limited basis be explored (for instance 8-5 pm Monday to Friday.). By expanding, delimiting, and clearly marking the off leash area these potential conflicts will be minimized and the degree of compliance with the off leash/ on leash regulations should improve.

Dog-Waste collection Depot

In discussions with city personnel it became clear that significant quantities of waste are generated in the litter bins (particularly related to the dog walking). Larger capacity waste receptacles would significantly reduce this but the time savings in terms of maintaining the facility must be balanced with the added cost of the bin. A product such as the Alfa maxi by equinox would work for this but has a cost of approximately \$3500 per unit. Nevertheless the dramatically reduced frequency of servicing the litterbin would have an impact on the maintenance needs of the park as well as providing some

less tangible benefits in terms of odor control and appearance. Current literature suggests that this is a cost effective approach to park waste collection.

While it is clear that this is desirable from a park maintenance point of view, it is also clear that the centralization of waste collection is not desirable from a user point of view. A balanced approach, at least in the near future, is indicated.

Perimeter Fence

Some issues have been raised concerning the ability of vehicles to enter the park and drive up the north service road placing them behind the residences that border the north perimeter of the park. This leaves them out of site and increases the risks of vandalism and break ins for those properties. While we have already considered unwanted vehicular access via this road (see notes regarding parking lot) it remains that there are gaps in the post fence along the service road at the west edge of the park, and that there is no post fence along much of the south boundary. The fence at the west edge requires a number of infill bollards both to place bollards where they are needed to control access and to replace bollards that are no longer sound. In a few locations existing bollards have been pushed over and they need to be replaced and or reset.

For the most part the south boundary can be considered secure due to the extreme ditch along Springfield road. During the course of this study we have not received any input that security along this boundary was problematic. In the absence of any such information, we are recommending replacing the works condition bollards and the limited addition of infill bollards along the west boundary of the park.

Cost Estimates

The following chart itemizes the items found in need of attention at both Harbour View and at Kilcona. Please note that these items are not ranked in terms of priority.

Harbour View	783,866
Kilcona	482,460
Contingency	122,022
Consulting Fees	148,391
Capital Costs & GST	92,204
Total	1,628,943

Harbour View

Item	Quantity	Unit	Unit Price	Extension
Main Plaza				
Replace curbing	520	Lin M.	45	23,400
Relay or replace interlock	1800	sq. M	100	180,000
Repair Retaining wall at dock	31	Lin M.	2000	62,000
Reinstall wood detail at column bases	24	ea	50	1,200
Replant dead trees	6	ea	350	2,100
Infill planting in shrub beds	60	ea	25	1,500
Replace Bollard Lamp	1	ea	750	750
New Mulch in planting beds	400	sq. M.	4	1,600
New Chairs/Benches	5	ea	850	4,250
New Whisky Barrel Planters	10	ea	50	500
Replace rotting siding at bottom of building	220	Lin M.	25	5,500
Infill former tree wells with interlock (use from I.bowl)	1	ls	1500	1,500
Parking lots				
Replace broken curb stops	51	ea	80	4,080
Crack Sealing	1320	Lin M.	3	3,960

Entry Road

Regrade and repave	3314	sq. M.	22	72,908
Replace broken curb stops	20	ea	80	1,600

Internal Site Signs

Repaint	28	ea	0	0
Adjust level	1	ls	0	0
Additional sign for Volleyball/picnic	1	ls	0	0

Paths

Crack filling	500	Lin M.	3	1,500
Repave (limited areas)	224	Sq. M.	22	4,928

Guardrails

Replace Guardrails	116	Lin M.	120	13,920
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Swails

Regrading (local)	180	sq. M.	15	2,700
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Courtyard

Planters	3	ea	50	150
Benches	3	ea	850	2,550
Pave Planter area	4	sq. M.	100	400

Shuffleboard

Resurface asphalt	240	sq M.	25	6,000
Replace curbing	100	Lin M.	45	4,500

Horse Shoe Pits

Remove "crib's"	10	ea	300	3,000
Install new pins	10	ea	250	2,500
Install new backer board	10	ea.	120	1,200
Install 120 cm chain link fence planting around the pits	68	Lin M.	35	2,380
Repaint Lines	70	sq. M.	38	2,660
	80	Lin M.	10	800

Tennis Courts

Repave (additional layer of asphalt overlay w geotextile)	3550	sq. M.	18	63,900
Repaint playing surface	3620	sq. M.	6.4	23,168
Repaint wall	102	Sq. M.	25	2,550
refinish benches	3	ea	200	600
Crack Sealing	100	Lin M.	3	300
Replace Wind Screen	380	Lin M.	35	13,300
New Bench	3	ea	700	2,100
Cut out and repair asphalt	70	sq. M.	30	2,100
Sod Repair (access path)	16	sq. M.	12	192
Adjustments to fence	380	Lin M.	25	9,500
wood board at base of fence	380	Lin. M.	9	3,420

Lawn Bowling

Replace cribbing	160	Lin M.	25	4,000
Replace "Bridge"	1	I.s.	1000	1,000

Mini Golf

Remove existing Fence posts	12	ea.	10	120
Reset salvaged fence posts	6	ea	25	150
Cut swails in existing soft landscaping	100	Sq. M.	15	1,500
build up some of the soft landscaping	45	Sq. M	15	675
fix wooden stairs	1	L.S.	500	500
replace wooden obstacles	17	lin M.	15	255
paint on new numbers	18	ea.	10	180
paint sand traps	10	Sq. M.	50	500

supplemental planting	25	Sq. M	35	875
stepping stones at walk outs	8	ea	20	160
update planters	10	ea	50	500
increase water flow to water feature	1	L.S.	800	800
New Carpet on Holes	1	L.S.	13500	13,500
Play structures	680 M sq.			
Remove significant hazards	1	ls.	500	500
replace structures	1	ls.	175000	175,000
replace site furniture with Harbour View Style benches	1	ea	850	850
Replace sand with play gravel	204	cu M.	75	15,300
Volleyball				
Benches	2	ea.	700	1,400
spray round up and rototill edge of court		L.s.	500	0
top up sand w 2 mm sand 10cm	484	Sq. M.	6	500
Replace Volley ball posts	2	set	1500	3,000
Driving range				
extend fencing at east end	45	Lin M.	35	1,575
add signage	6	ea.	75	450
Planting beds				
Planting Beds (add shrubs 1 per 10 M sq.)	1000	sq. M.	3	3,000
top up mulch	1000	sq. M.	4	4,000
Trees				
Planting of new shade trees	30	ea	350	10,500

Misc.

Raise grade at transformers s of lawn bowling	50	sq. M.	12	600
Replace valve box covers	3	ea.	150	450
Cover insulation at base of Parking lot structure	11	lin M.	10	110
Swap benches out for Harbour view style benches	5	ea.	850	4,250
Additional whisky barrel planters	10	ea.	50	500
Paint base of light standards.	27	ea	0	0

Kilcona

Item	Quantity	Unit	Unit Price	Extension
Control Line Air Site				
Benches	3	ea.	450	1,350
Picnic Tables	2	ea.	650	1,300
Signage (warning signs)	5	ea.	75	375
trash can	1	ea.	175	175
Topsoil and seed on extended area	1	ea.	1500	1,500
Softball				
top up infield mix (10 cm)	1285	sq. M.	5.5	7,068
restrech backstop	78	Lin. M.	40	3,120
Soccer				
Repairs to field	50	sq. M.	12	600
New Goal posts 25'	1	ea pr.	5600	5,600
South of Creek				
<i>Develop path along edge of bush</i>	1800	Lin M		
Woodchip Path	1400	sq. M.	4	5,600
Remove Dead Trees	50	ea.	0	0
Remove Tree Stakes	150	ea.	0	0
Trail Signage	5	ea.	75	375
Waste Receptacles	3	ea.	175	525
Benches (Tache)	5	ea.	550	2,750
North of Creek				
Reforestation Planting	1060	Lin M		
Path Development (Grassed Path)	300	ea	75	22,500
Benches	5	ea	550	2,750

Trail signage	4	ea	75	300
Waste Receptacles	5	ea.	175	875
Top of Hill				
Reforestation Planting	500	ea	75	37,500
Added Gravel on Road	3300	sq. M.	5	16,500
Culvert	1	ea.	1500	1,500
Erosion control	500	Sq. M.	15	7,500
Benches	5	ea.	550	2,750
Waste Receptacles	5	ea.	175	875
Trail Signage	3	ea.	75	225
culvert	1		1500	1,500
North Walks				
Reforestation Planting	500	ea	75	37,500
New trail around crest of hill	1400	sq. M.	20	28,000
Path development at waters edge (Grassed)				
benches	5	ea.	450	2,250
waste receptacles (redeploy from Parking lot)	3	ea.		0
bridge and approaches (~16 M span)	1	ea.	100000	100,000
trail signage	5	ea.	75	375
Main Entry				
Site map	1	ea.	1500	1,500
Bulletin board	1	ea.	1500	1,500
Lighting in Parking lot	4	ea.	6250	25,000
Lighting at top of hill	1	ea.	6000	6,000
Picnic tables	2	ea.	650	1,300
Benches	3	ea.	450	1,350
Farm Gates	1	ea.	1000	1,000

Realign Road at entry	1		5280	5,280
Main Site Entry Signage	1	ea.	20000	20,000
Bridges				
Replace life ring	1	ea.		
Repair railing at plac	1	ls.		
Patch Asphalt at approach	48	sq. M.		
Fill in between grouted rip rap and bridge	70	lin M		
Fill in soft landscaping at grouted rip rap	80	sq. M.		
 Asphalt Paths				
Patches to repair paths	280	sq. M.	30	8,400
New paths	470	sq. M.	25	11,750
Sod repairs adjacent to existing paths	150	sq. M.	12	1,800
Sod and swail next to new path	144	sq. M.	18	2,592
Culvert	1		1500	1,500
Reforestation				
Trees	500	ea.	75	37,500
Planting Beds (add shrubs 1 per 10 M sq.)	9300	sq. M.	3	27,900
lwc mulch	9300	sq. M.	2	18,600
 Dog Related				
Litter Bins Equinox (3)	3	ea.	3500	10,500
Signage	10	ea.	75	750
Bag Posts	10	ea.	50	500
 Perimeter Fence				
New/Replacement bollards	100	ea.	45	4,500

Recommendations

While it is within the scope of this study to identify all work needed within Harbour View / Kilcona it is also clear that the current budget is not sufficient to comprehensively address these issues. One of the tasks facing us is to select which items will be addressed within that budget and make recommendations as to what form said work will take. This requires that criteria be established such that an objective framework for making these decisions is employed. Our examination of the site, discussions with city personnel, the desires and wishes of a number of user groups combined with our informal observations of a number of users have suggested the following criteria.

- i. Where possible as many users as possible should be touched by the improvements to the park/recreation complex.
- ii. The various groups using the park make a considerable contribution to the park and should be encouraged.
- iii. Some groups are independently fundraising and planning improvements to the park. They must be accommodated and encouraged.
- iv. Issues that relate to safety and security need to be given a high priority.
- v. Issues, which will be more difficult/expensive to address with the passage of time, need to be dealt with earlier rather than later.
- vi. If it is possible to ‘package’ the work in phases so as to make it more economical, this should be done.
- vii. Charge per use facilities, if they are to continue to be viable, need to be maintained at least a minimum standard and this standard must be considered in the phasing of works.

Some items, even by themselves, exceed our budget. For instance the cost of redeveloping the plaza area at Harbour View and of repairing the retaining wall would, in and of itself, exceed our current funds. There are also a number of smaller projects, which would individually take up such a large portion of the budget, that proceeding with

them would seriously limit our ability to address the bulk of the other issues present in the park. An example of this would be the Play structure. It is our recommendation that these large ticket items be deferred until such a time, as adequate funding is available to address them properly but also that they be identified as targets for future funding.

It is also clear that one could easily expend the entire budget just doing minor repairs throughout Harbour View. This would result in a facility that looks more up to date and well maintained but would address only a select group of users and might not even significantly change their experience of the facility. It would not address at all, the difficulties experienced by users in Kilcona where the infrastructure of the park needs little repair if only because it was never developed in the first place. For this reason we are recommending that a reasonable portion of the funds currently available be allocated to Kilcona with a view to developing aspects of the park in such a way as to positively impact the users.

Furthermore, we are seeing deterioration in plantings in the shrub beds partially because of the age of the beds and partially because the plantings selected need more maintenance than they are currently receiving. By the same measure the areas of grass being regularly cut in the park are vast and clearly more extensive than would be needed to accommodate the users. Finally large numbers of trees are located within the grassed areas and this slows the grass cutting operation significantly. It is appropriate that a grass cutting plan be developed which will set out how often different areas of the grass be cut. It is our view that this is done in such a way as to reduce the total grass cutting requirements, thus freeing maintenance resources for maintaining plantings at a higher level.

Our examination of Kilcona has shown a clear need for development of the paths throughout the park. Much of this need is in the more natural areas of the park and it would be appropriate that some of these paths be developed as wood chip paths while others be gravel. In many places it would be acceptable to define the paths through differential cutting of the grass. A program that cuts the grass more often and shorter along the paths only, leaving the surrounding area long, would serve to clearly identify the paths while at the same time cost little to implement.

Finally, the willingness of some of the user groups to partner with the city in the maintenance and upgrading of the park must be encouraged. Examples of this are the Dog Walkers who do more than just clean up after their pet and provide a valuable presence in the park encouraging both use and discouraging vandalism. The reforestation group and the cross-country running club are, among others, also contributing in a tangible way. All of these groups (including the ones not mentioned) need to receive encouragement in the first phase of the project, whether it be by having their needs directly addressed (e.g. lighting in the parking lot for the dog walkers) or by receiving some direction (e.g. the identification of areas for reforestation) through this process.

Staging

Phase One (current budget)

The intent of this phase is to have maximum impact on the users by doing many small but useful things in many places. A Summary of costs is below, as is a detailed breakdown.

Harbour View	57,170
Kilcona	96,510
Contingency	10,758
Consulting Fees	26,000
Capital Costs & GST	11,426
Total	201,863

Below is a detailed breakdown of the work included in phase 1

Harbour View

Item	Quantity	Unit	Unit Price	Extension
Main Plaza				
New Chairs/Benches	5 ea		850	4,250
New Whisky Barrel Planters	5 ea		50	250
Infill former tree wells with interlock (use from I.bowl)	1	l.s	1500	1,500
Internal Site Signs				
Repaint	28 ea		0	0
Adjust level	1 ls		0	0
Additional sign for Volleyball/picnic	1 ls		0	0

Regrading (local)	180 sq. M.	15	2,700
Courtyard			
Planters	3 ea	50	150
Pave Planter area	4 sq. M.	100	400
Tennis Courts			
Replace Wind Screen	380 Lin M.	35	13,300
wood board at base of fence	380 Lin. M.	9	3,420
Mini Golf			
Remove existing Fence posts	12 ea.	10	120
Reset salvaged fence posts	6 ea	25	150
Cut swails in existing soft landscaping	100 Sq. M.	15	1,500
build up some of the soft landscaping	45 Sq. M	15	675
fix wooden stairs	1 L.S.	500	500
replace wooden obstacles	17 lin M.	15	255
paint on new numbers	18 ea.	10	180
paint sand traps	10 Sq. M.	50	500
supplemental planting	25 Sq. M	35	875
stepping stones at walk outs	8 ea	20	160
update planters	10 ea	50	500
increase water flow to water feature	1 L.S.	800	800
New Carpet on Holes	1 L.S.	13500	13,500
Play structures			
Remove significant hazards	680 M sq.	1 ls.	500
Volleyball			
top up sand w 2 mm sand 10cm	1 L.S.	500	500
Replace Volley ball posts	2 set	1500	3,000

Driving range

extend fencing at east end	45 Lin M.	35	1,575
add signage	6 ea.	75	450

Misc.

Raise grade at transformers s of lawn bowling	50 sq. M.	12	600
Cover insulation at base of Parking lot structure	11 lin M.	10	110
Swap benches out for Harbour view style benches	5 ea.	850	4,250
Additional whisky barrel planters	10 ea.	50	500
Paint base of light standards.	27 ea	0	0

Kilcona

Item	Quantity	Unit	Unit Price	Extension
Control Line Air Site				
Picnic Tables	1 ea.		650	650
Signage (warning signs)	5 ea.		75	375
Topsoil and seed on extended area	1	ea.	1500	1,500

Softball

top up infield mix (10 cm)	1285 sq. M.	5.5	7,068
restrech backstop	78 Lin. M.	40	3,120

Soccer

Repairs to field	50 sq. M.	12	600
New Goal posts 25'	1 ea pr.	5600	5,600

South of Creek

Develop path along edge of bush	1800 Lin M		
Woodchip Path	1400 sq. M.	4	5,600
Remove Dead Trees	50 ea.	0	0
Remove Tree Stakes	150 ea.	0	0
Trail Signage	5 ea.	75	375

Top of Hill

Added Gravel on Road	400 sq. M.	5	2,000
Culvert	1 ea.	1500	1,500
Erosion control	500 Sq. M.	15	7,500
Trail Signage	3 ea.	75	225
culvert	1	1500	1,500

North Walks

trail signage	5 ea.	75	375
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Main Entry

Site map	1 ea.	1500	1,500
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Site map	1 ea.		1500	1,500
Bulletin board	1 ea.		1500	1,500
Lighting in Parking lot	4 ea.		6250	25,000
Picnic tables	1 ea.		650	650
Farm Gates	1 ea.		1000	1,000
Realign Road at entry	1		5280	5,280
Dog Related				
Litter Bins Equinox (3)	2 ea.		3500	7,000
Signage	10 ea.		75	750
Asphalt Paths				
New paths	470	sq. M.	25	11750
Sod and swail next to new path	144	sq. M.	18	2592
Culvert	1		1500	1500

Phase Two

The replacement of the play structure in Harbour View is a significant undertaking in its own right and, given the status of the current structure, needs to be given a priority.

Harbour View	195,250
Kilcona	0
Contingency	19,525
Consulting Fees	21,478
Capital Costs & GST	14,175
Total	250,428

Harbour View

Item	Quantity	Unit	Unit Price	Extension
Infill planting in shrub beds	60	ea	25	1,500
New Mulch in planting beds	400	sq. M.	4	1,600
Replace "Bridge	1	l.s.	1000	1,000
Play structures	680 M sq.			
replace structures	1 ls.		175,000	175,000
replace site furniture with Harbour View Style benches	1 ea		850	850
Replace sand with play gravel	204 cu M.		75	15,300

Phase Three

There are a number of items of work that involve the use of Asphalt. These include replacement of the playing surface in the tennis courts, regrading and paving the main entry drive into Harbour View, and completing the asphalt path development in Kilcona. In numerous places small asphalt repairs are indicated. From a pricing point of view it makes sense to package this work together as it would make the project much more attractive to a paving contractor and would likely result in a more efficient use of the city's funds. It also makes sense to look at further path development in Kilcona as a part of this phase.

Harbour View	203,886
Kilcona	52,700
Contingency	25,659
Consulting Fees	28,224
Capital Costs & GST	18,628
Total	329,097

Harbour View

Item	Quantity	Unit	Unit Price	Extension
Parking lots				
Replace broken curb stops	51 ea		80	4,080
Crack Sealing	1320 Lin M.		3	3,960
Entry Road				
Regrade and repave	3314 sq. M.		22	72,908
Replace broken curb stops	20 ea		80	1,600
Paths				
Crack filling	500 Lin M.		3	1,500
Repave (limited areas)	224 Sq. M.		22	4,928
Shuffleboard				
Resurface asphalt	240 sq M.		25	6,000
Replace curbing	100 Lin M.		45	4,500
Tennis Courts				
Repave (additional layer of asphalt overlay w geotextile)	3550 sq. M.		18	63,900
Repaint playing surface	3620 sq. M.		6	23,168
Repaint wall	102 Sq. M.		25	2,550
refinish benches	3 ea		200	600
Crack Sealing	100 Lin M.		3	300
New Bench	3 ea		700	2,100
Cut out and repair asphalt	70 sq. M.		30	2,100
Sod Repair (access path)	16 sq. M.		12	192
Adjustments to fence	380 Lin M.		25	9,500

Item	Quantity	Unit	Unit Price	Extension
Top of Hill				
Added Gravel on Road	2900 sq. M.		5	14,500
North Walks				
New trail around crest of hill	1400 sq. M.		20	28,000
Bridges				
Patch Asphalt at approach	48 sq. M.		0	0
Asphalt Paths				
Patches to repair paths	280 sq. M.		30	8,400
Sod repairs adjacent to existing paths	150 sq. M.		12	1,800

Phase Four

Some projects are indicated but are unlikely to be priorities in the near future and have been relegated to this section. It remains possible that new priorities arising from changing use patterns and needs will continually relegate some of these lower priority items to the bottom of the list. It also remains a possibility that at a certain points some of these items will become higher priority simply because of further deterioration over time.

This phase includes such items as replacing the guardrails at Harbour View, Reforestation at Kilcona, additional bollard replacement, and other low priority but real items.

Harbour View	35,820
Kilcona	333,250
Contingency	36,907
Consulting Fees	40,598
Capital Costs & GST	26,794
Total	473,369

Harbour View

Item	Quantity	Unit	Unit Price	Extension
Guardrails				
Replace Guardrails	116 Lin M.		120	13,920
Courtyard				
Benches	3 ea		850	2,550
Volleyball				
Benches	2 ea.		700	1,400
Planting Beds (add shrubs 1 per 10 M sq.)	1000 sq. M.		3	3,000
top up mulch	1000 sq. M.		4	4,000
Trees				
Planting of new shade trees	30 ea		350	10,500
Misc.				
Replace valve box covers	3 ea.		150	450

Kilcona

Item	Quantity	Unit	Unit Price	Extension
Control Line Air Site				
Benches	3 ea.		450	1,350
Picnic Tables	2 ea.		650	650
trash can	1 ea.		175	175
South of Creek				
Waste Receptacles	3 ea.		175	525
Benches (Tache)	5 ea.		550	2,750
North of Creek				
	1060 Lin M			
Reforestation Planting	300 ea		75	22,500
Benches	5 ea		550	2,750
Trail signage	4 ea		75	300
Waste Receptacles	5 ea.		175	875
Top of Hill				
Reforestation Planting	500 ea		75	37,500
Benches	5 ea.		550	2,750
Waste Receptacles	5 ea.		175	875
North Walks				
Reforestation Planting	500 ea		75	37,500
benches	5 ea.		450	2,250
bridge and approaches (~16 M span)	1 ea.		100,000	100,000

Main Entry

Lighting at top of hill	1 ea.		6,000	6,000
Picnic tables	1	ea.	650	650
Benches	3 ea.		450	1,350
Main Site Entry Signage	1	ea.	20000	20,000

Bridges

Repair railing at plac	1 ls.		0	0
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Reforestation

Trees	500 ea.		75	37,500
Planting Beds (add shrubs 1 per 10 M sq.)	9300 sq. M.		3	27,900
lwc mulch	9300 sq. M.		2	18,600

Dog Related

Litter Bins Equinox (3)	1 ea.		3,500	3,500
Bag Posts	10	ea.	50	500

Perimeter Fence

New/Replacement bollards	100 ea.		45	4,500
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Phase Five

Phase five work centers on the replacement of the Plaza at Harbour View. While it cannot be denied that the existing plaza does not present a pristine appearance, it also cannot be denied that the current plaza functions. Implementation of this item will have the advantage that the annual maintenance costs will be reduced because the annual relaying pavers at the retaining wall will no longer be necessary. At some point, should failure of the retaining wall at the dock be imminent, this may become an item of higher priority than it is today.

Harbour View	291,740
Kilcona	0
Contingency	29,174
Consulting Fees	32,091
Capital Costs & GST	21,180
Total	374,186

Harbour View

Item	Quantity	Unit	Unit Price	Extension
Main Plaza				
Replace curbing	520	Lin M.	45	23,400
Relay or replace interlock	1800	sq. M	100	180,000
Repair Retaining wall at dock	31	Lin M.	2,000	62,000
Reinstall wood detail at column bases	24	ea	50	1,200
Replant dead trees	6	ea	350	2,100
Replace Bollard Lamp	1	ea	750	750
New Whisky Barrel Planters	5	ea	50	250
Replace rotting siding at bottom of building	220	Lin M.	25	5,500
Horse Shoe Pits				
Remove "crib's"	10	ea	300	3,000
Install new pins	10	ea	250	2,500
Install new backer board	10	ea.	120	1,200
Install 120 cm chain link fence	68	Lin M.	35	2,380
planting around the pits	70	sq. M.	38	2,660
Repaint Lines	80	Lin M.	10	800