

NOTE: INCLUDE ALL GRADING, SOIL & SOD IN BASE BID. LANDSCAPE FIXTURES (TREES, SHRUBS, ETC.) TO BE PAID FOR BY CASH ALLOWANCE. INCREASE TOPSOIL DEPTH AS REQUIRED BY TREE SUPPLIER.

EXIST CONC PAD & WALKWAY TO BE REMOVED & REPLACED WITH NEW AFTER CONSTRUCTION. (4" THICK R/W 10M AT 16" o/c E.W. MID-DEPTH ON COMPACTED GRANULAR FILL). REINFORCING TO BE EPOXY COATED

PROVIDE CONTINUOUS TEMPORARY ACCESS DURING CONSTRUCTION

NEW PAD TO BE MIN 8" THICK R/W 15M EPOXY COATED BARS AT 14" o/c E.W. T&B
EXIST FENCED-IN COOLING TOWER TO BE TEMPORARILY RELOCATED DURING CONSTRUCTION. REINSTALL ON NEW PAD & INSTALL SALVAGED OR NEW FENCE AS REQUIRED.

EXIST TRANSFORMER FOR 365 BANNATYNE AVENUE. DO NOT UNDERMINE DURING CONSTRUCTION. TEMPORARY SHORING BY CONTRACTOR. APPROXIMATE UNIT WEIGHT BOODLES. CONFIRM PRIOR TO CONSTRUCTION.

EXIST LOADING DOCK, STAIR & RAMP AT 365 BANNATYNE. DO NOT UNDERMINE EXIST FOUNDATION. LOADING DOCK IS PILED. STAIR & RAMP FOUNDATIONS ARE UNKNOWN. IF SHALLOW FOUNDATIONS ARE ENCOUNTERED, CONTACT CONTRACT ADMINISTRATOR FOR REVIEW & FURTHER DIRECTION.

EXIST DUCT ABOVE TO REMAIN

EXIST CHIMNEY ABOVE TO REMAIN

EXISTING STONE FOUNDATION WALL TYPICAL

EXISTING FOOTING SITE CONFIRM EXTENTS

SLOPE FINISHED GRADE TO LOW POINT AWAY FROM STRUCTURES AND TOWARD STREET

TYPICAL UNDERPIN PILE LOCATIONS, SHOWN THUS

NEW FOUNDATION WATERPROOFING SYSTEM, SEE SECTION
NEW 6" PERFORATED WEeping TILE SEE DETAIL

EXIST ENTRY LEAN-TO. INCLUDE FOR TEMPORARY SUPPORT TO BASE OF EXCAVATION DURING CONSTRUCTION FOR WATERPROOFING & WEeping TILE CONTINUITY.
PROVIDE CONTINUOUS TEMPORARY ACCESS DURING CONSTRUCTION

SAWCUT EXIST ASPHALT PRIOR TO EXCAVATION TO MINIMIZE DAMAGE. BACKFILL WITH COMPACTED GRANULAR & REPAVE PER 02743. PAINT NEW LINES TO MATCH EXIST

APPROXIMATE OUTLINE OF EXIST FOOTING

9 EXIST PARKING SPACES TO BE TEMPORARILY RELOCATED TO WEST SIDE OF LOT. NO TEMPORARY LINES REQUIRED. NOTE: PARKING LOT TO BE IN USE BY BUILDING OCCUPANTS THROUGHOUT CONSTRUCTION PHASE. LOT TO REMAIN CLEAN & FREE OF MATERIALS & EQUIPMENT.

TEMPORARILY BARRICADE NORTH PARKING LOT ACCESS DURING CONSTRUCTION

DEMOLISH BOTTOM TREAD OF STAIR BEYOND EXTERIOR FACE OF FOUNDATION WALL & RECONSTRUCT AFTER COMPLETION OF FOUNDATION WATERPROOFING.

F.O. FOUNDATION WALL BELOW

EXIST BRICK PAVERS TO BE REMOVED & REINSTALLED

EXIST WROUGHT IRON FENCE ON CONC CURB. FENCE TO BE SALVAGED & TURNED OVER TO CITY FOR STORAGE. CONC CURB TO BE DEMOLISHED. MINIMIZE EXTENT OF FENCE & CONC REMOVAL. REINSTALLATION OF FENCE N.I.C.

PROVIDE CONTINUOUS TEMPORARY ACCESS DURING CONSTRUCTION

FOUNDATION WATERPROOFING NOTES

GENERAL

- DRAWINGS ARE PREPARED BASED ON THE BEST AVAILABLE INFORMATION TRANSCRIBED FROM ORIGINAL DRAWINGS. REVIEW ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK. THE ONUS REMAINS WITH THE CONTRACTOR TO SITE CONFIRM DIMENSIONS PRIOR TO CONSTRUCTION. ADVISE CONTRACT ADMINISTRATOR OF ANY DISCREPANCIES IN EXISTING CONSTRUCTION'S CONFIGURATION, SIZES, LOCATIONS, ETC. WHERE DISCREPANCIES ARE FOUND, DO NOT PROCEED WITHOUT DIRECTION.
- ALL TEMPORARY STRUCTURAL MEASURES (IE. SHORING, SUPPORT FOR LEAN-TO, ETC.) ARE THE RESPONSIBILITY OF THE CONTRACTOR. SUBMIT SHOP DRAWINGS SEALED BY AN ENGINEER LICENSED TO PRACTICE IN MANITOBA.
- STAKE ALL UNDERGROUND SERVICES, UTILITIES, ETC. INCLUDING ABANDONED SERVICES LINES. PRIOR TO PERFORMING ANY EXCAVATION OR SHORING INSTALLATION.
- MARK OUT EXTENT OF EXCAVATION AND REVIEW WITH CONTRACT ADMINISTRATOR THE INTENT FOR ALL VEGETATION WITHIN THE AREA PRIOR TO PROCEEDING.
- BARRICADE ALL WORK AREAS FROM PUBLIC ACCESS. DO NOT LEAVE OPEN ANY EXCAVATION WHICH IS UNATTENDED. PROTECT ALL AREAS DURING PERIODS WHEN OFF-SITE.
- PREPARE STONE FOUNDATION WALL SURFACES FOR INSPECTION PRIOR TO APPLICATION OF MEMBRANE AS PER DRAWINGS AND SPECIFICATIONS. ADVISE, AND REVIEW WITH, CONTRACT ADMINISTRATOR ANY AREAS OF SPALLED, CRACKED OR DISTRESSED WALL SURFACES. FOLLOW CURING TIMES REQUIRED FOR REPAIRS PRIOR TO PROCEEDING WITH PARGING/MEMBRANE APPLICATION.

DRAIN TILE INSTALLATION

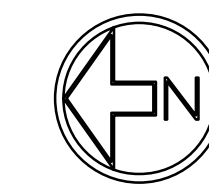
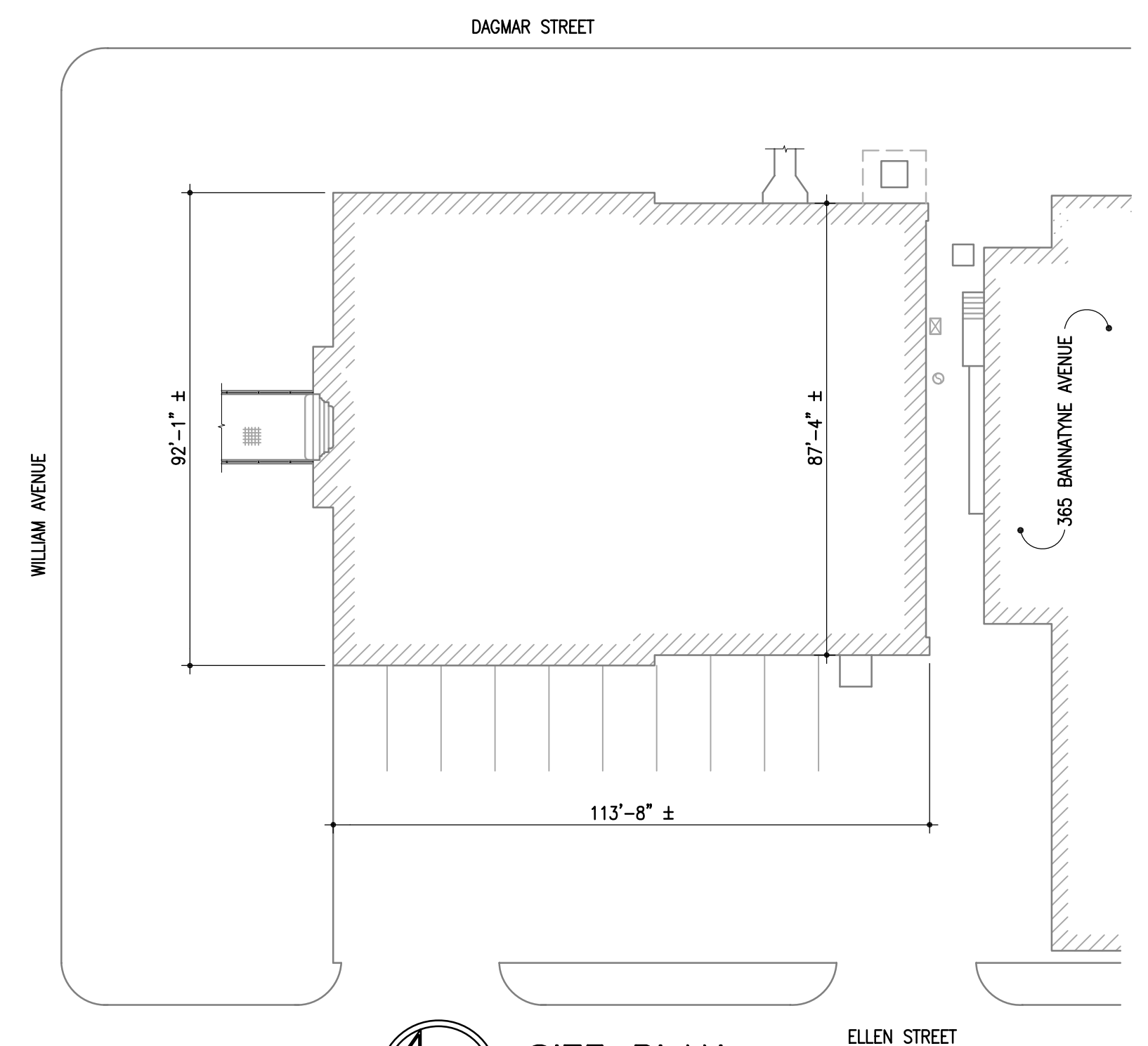
- INSTALL DRAIN TILE ON UNDISTURBED NATURAL CLAY SOIL WITH PERFORATIONS AT THE INVERT TOP OF DRAIN TILE TO BE BELOW UNDERSIDE OF BASEMENT SLAB LEVEL AT ALL LOCATIONS. PROVIDE MINIMUM SLOPES OF 1/16" IN 1 FOOT, TYPICAL. SEE PLAN FOR HIGH POINTS AND LOW POINTS.
- ALL PERFORATED PERIMETER LINES, FILTER SOCKS, NON-PERFORATED INTERIOR DRAIN LINES, AND FITTINGS TO BE BY THE SAME MANUFACTURER. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR ALL CONNECTION DETAILS INCLUDING TERMINATIONS.
- DRAIN TILE TO BE OUTSIDE OF WIDEST PORTION OF A CONTINUOUS FOOTING UNLESS SHOWN OTHERWISE.
- SURROUND WEeping TILE WITH PEA GRAVEL IN FILTER CLOTH AS SHOWN.
- INTERIOR LINES TO SUMP PITS TO BE NON-PERFORATED. INSTALL WITH 1:50 SLOPE. CONNECT TO SUMP PIT WITH PURPOSE-MADE ADAPTERS. NEW SUMP PITS TO BE MIN 28" DIAMETER UNLESS NOTED, BY DEPTH INDICATED ON DRAWINGS. COVERS TO BE MECHANICALLY FASTENED, REQUIRING COMMON TOOLS FOR REMOVAL. WHERE INDICATED ON DRAWINGS, PIT COVER IS TO BE CARPETED OR TILED TO MATCH EXISTING FLOORING.
- PERFORM INTERIOR WORK FOR FEEDER LINES WITH A MINIMUM OF DISRUPTION TO INTERIOR AREAS AND FINISHES. COMPACT FILL BELOW OPENED SLAB-ON-GRADE AREAS. REPAIR BASEMENT SLABS -ON-GRADE WITH REINFORCED CONCRETE AS PER DRAWINGS.

FOUNDATION WALL MEMBRANE APPLICATION

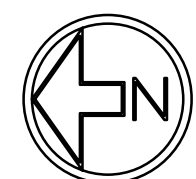
- EXPOSE FOUNDATION WALL FULL HEIGHT AND REVIEW SURFACE FOR ANY CRACKING, UNSOUND OR SPALLED STONE.
- REVIEW ANY DISTRESSED AREAS OF STONE WITH CONTRACT ADMINISTRATOR. NO UNIT PRICES WILL BE GRANTED FOR UNAUTHORIZED REPAIRS.
- INSTALL 3" CONCRETE SKIN AS SPECIFIED ON DRAWINGS. UPON REMOVAL OF FORM WORK, REPAIR ANY IRREGULARITIES THAT WOULD BE DETRIMENTAL TO ADHESION OF WATERPROOFING MEMBRANE.
- PRESTRIPE ALL PENETRATIONS, TERMINATIONS, SEALED CRACKS, CORNERS, ETC. AS PER SPECIFICATIONS.
- INSTALL H-BUILD MEMBRANE SYSTEM IN FULL ACCORDANCE WITH CONTRACT SPECIFICATIONS INCLUDING SURFACE MOISTURE CONTENT, WET AND DRY MIL THICKNESS AND CURING TIME OF EACH COAT.
- INSTALL PERIMETER WEeping TILE SYSTEM.
- PROVIDE INSULATION BOARD AS INDICATED. INSTALL UPPER PROTECTION BOARD.
- BACKFILL WITH SPECIFIED MATERIALS IN MAXIMUM 8" LIFTS. EXERCISE CAUTION. DO NOT DAMAGE DRAIN TILE, INSULATION, OR MEMBRANE.
- COMPLETE FLASHING INSTALLATION AT TOP OF MEMBRANE INSTALLATION. ALL FLASHINGS TO BE IN STRAIGHT ALIGNMENT WITH A MINIMUM OF LAP JOINTS. FASTENERS TO BE IN LINE AND TOUCHED UP WITH COLOUR MATCHING FLASHING COLOUR. HORIZONTAL TERMINATIONS TO HAVE VERTICAL RETURN OF FULL FLASHING PROFILE.

FINISH GRADING

- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- EXTEND MODIFICATIONS OF GRADE PROFILES TO EXTENT INDICATED ON DRAWINGS.
- PROVIDE UPPER LAYERS OF MATERIALS AS INDICATED. THICKNESSES OF LAYERS ARE MINIMUM REQUIREMENTS.



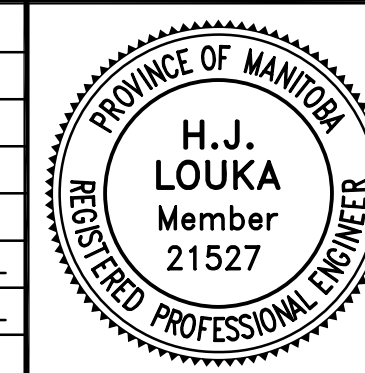
SITE PLAN
N.T.S.



FOUNDATION PLAN
1/8" = 1'-0"

APEGM
Certificate of Authorization
Crosier Kilgour & Partners Ltd.
No. 235 Date: Aug 1, 2008

No.	Date	Revisions	By
1	AUG 15, 2008	ISSUED FOR ADDENDUM 1	HJL
0	AUG 1, 2008	ISSUED FOR TENDER	HJL



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Project FOUNDATION WATERPROOFING - CARNEGIE BUILDING 380 WILLIAM AVENUE WINNIPEG, MANITOBA						Sheet No. S-1
Drawing Title FOUNDATION PLAN						
Design HJL	Drawn TW	Checked HJL	Scale AS NOTED	Date AUG 1, 2008	File 2008-0245	

The General Contractor shall check & verify all dimensions and shall report any errors or omissions to the designers.