

BUILDING CODE SUMMARY:

DIVISION B PART 3
NATIONAL BUILDING CODE 2005

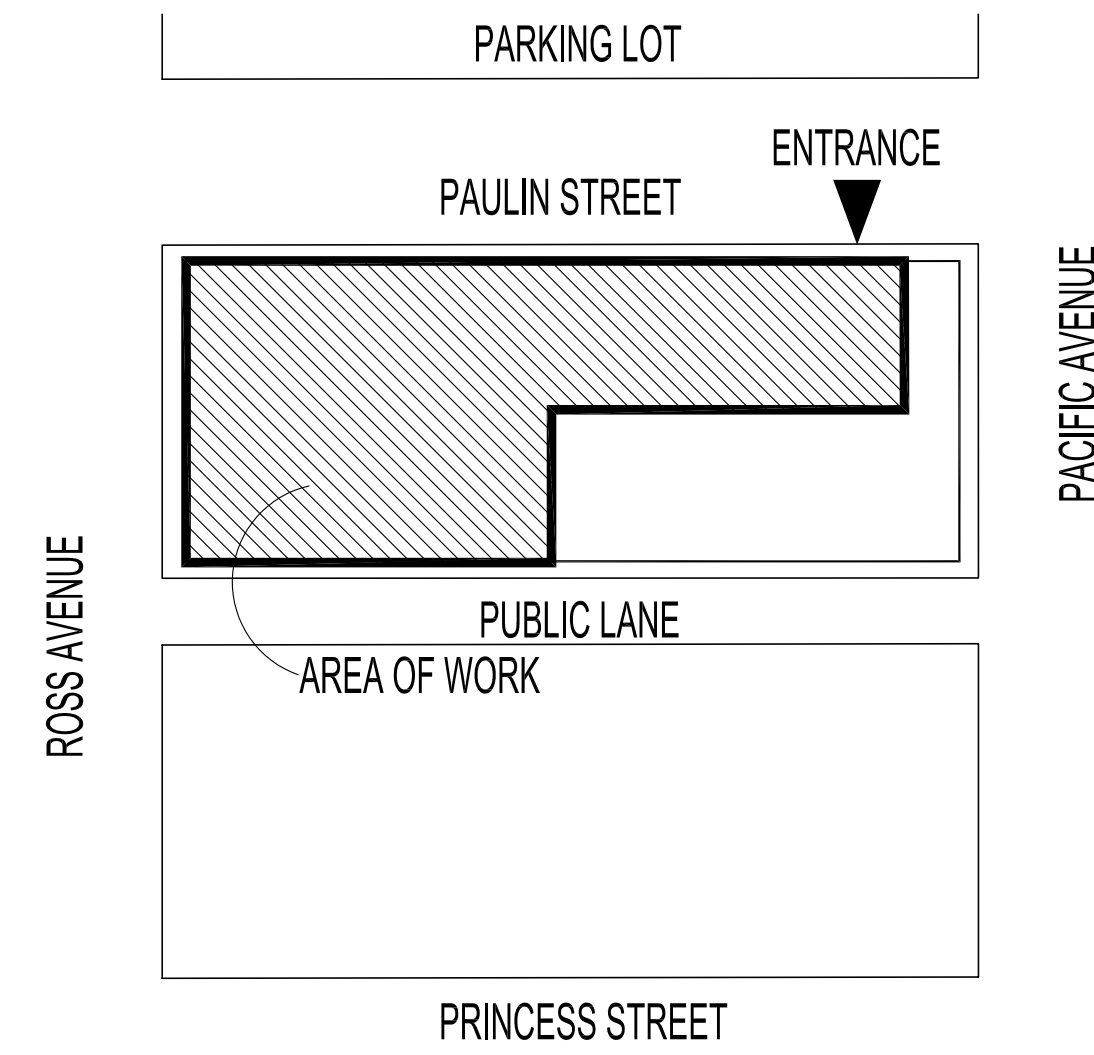
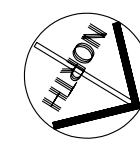
MAJOR OCCUPANCY - STORAGE GROUP F - DIVISION 2
 AREA OF BUILDING - 23,235 SQ. FT. / 7082 sq. m.
 SIX STOREY BUILDING - SPRINKLERED
 NUMBER OF STREETS - FACING 3 STREETS
 DESIGN OCCUPANCY LOAD - MAIN FLOOR - 18,681 SQ. FT. / 1735 sq. m.
 1735 / 28 sq. m. PER PERSON = 62 PERSON
 DESIGN OCCUPANCY LOAD - THIRD FLOOR - 12,420 SQ. FT. / 1154 sq. m.
 1154 / 28 sq. m. PER PERSON = 41 PERSON
 ACTUAL PERSON WORKING IN BUILDING - ONE SUPERVISOR OF MOVING & STORAGE OF FURNITURE AND NO MORE THAN 3 TO 4 CONTRACTED MOVERS.
 THIRD FLOOR OCCUPANCY - NO MORE THAN 2-3 PERSON PART TIME, IN AND OUT OF THE FLOOR AREA AS REQUIRED FOR FILING AND RETRIEVING OF RECORDS.

BUILDING DESIGN:
 SECTION 3.2 BUILDING FIRE SAFETY
 3.2.2.67 GROUP F, DIVISION 2 ANY HEIGHT, ANY AREA SPRINKLERED.
 BUILDING REQUIRED TO BE NON-COMBUSTIBLE
 FLOOR ASSEMBLIES - FIRE SEPARATIONS WITH A FIRE RESISTANCE RATING NOT LESS THAN 2H.
 LOAD BEARING WALL, COLUMNS AND ARCHES SHALL HAVE FIRE RESISTANCE RATING NOT LESS THAN 2H.
 THE EXISTING FACILITY IS COMPRISED OF THREE DISTINCT SEPARATE BUILDINGS, CONSTRUCTED FROM 1899 TO 1946.
 BUILDING IS A COMBINATION OF COMBUSTIBLE AND NON-COMBUSTIBLE, SOME HEAVY TIMBER CONSTRUCTION.

3.3 SAFETY WITHIN AREA
 3.3.1.21.3) JANITOR'S ROOM NOT REQUIRED TO HAVE FIRE RESISTANCE RATING - FLOOR AREA IS SPRINKLERED.

3.4 EXIT
 3.4.2.1 - TWO EXITS ARE REQUIRED.
 3.4.4 - EXIT ENCLOSURE SEPARATION HAVING A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED BY SUBSECTION 3.2.2 - 2H. TO MATCH FLOOR ASSEMBLY.
 3.4.5.1 - EXIT SIGNS REQUIRED

3.7 WASHROOMS
 MAIN FLOOR - EXISTING WASHROOM - 2 WATER CLOSETS AND 2 LAVATORIES
 TABLE 3.7.2.2. C
 (1154 m² / 28m² / 41 PERSON) 21 FEMALE & 21 MALE
 WATER CLOSET FOR INDUSTRIAL OCCUPANCY - 2 WATER CLOSETS FOR EACH SEX
 THIRD FLOOR - NEW WASHROOMS - MALE - 1 WATER CLOSET, 1 URINAL
 FEMALE - 2 WATER CLOSETS, ONE LAVATORY FOR MALE AND FEMALE
 BUILDING AND OCCUPANCY PERMIT WERE ISSUED IN DECEMBER OF 1999 FOR UPGRADING TO WAREHOUSE OCCUPANCY.
 FOLDER NO. 99 132432 000 00 CS

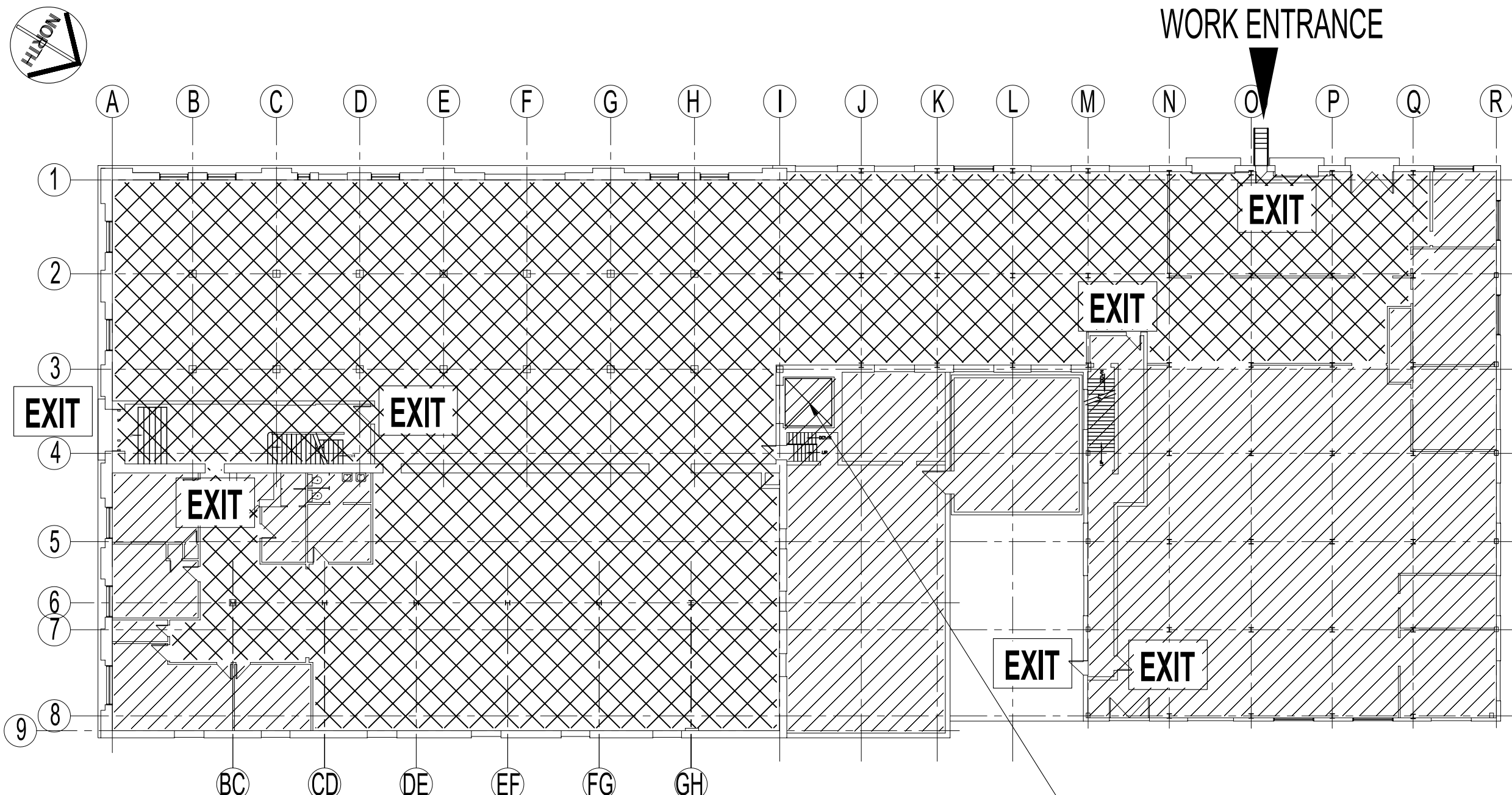


KEY PLAN
SCALE: N.T.S.

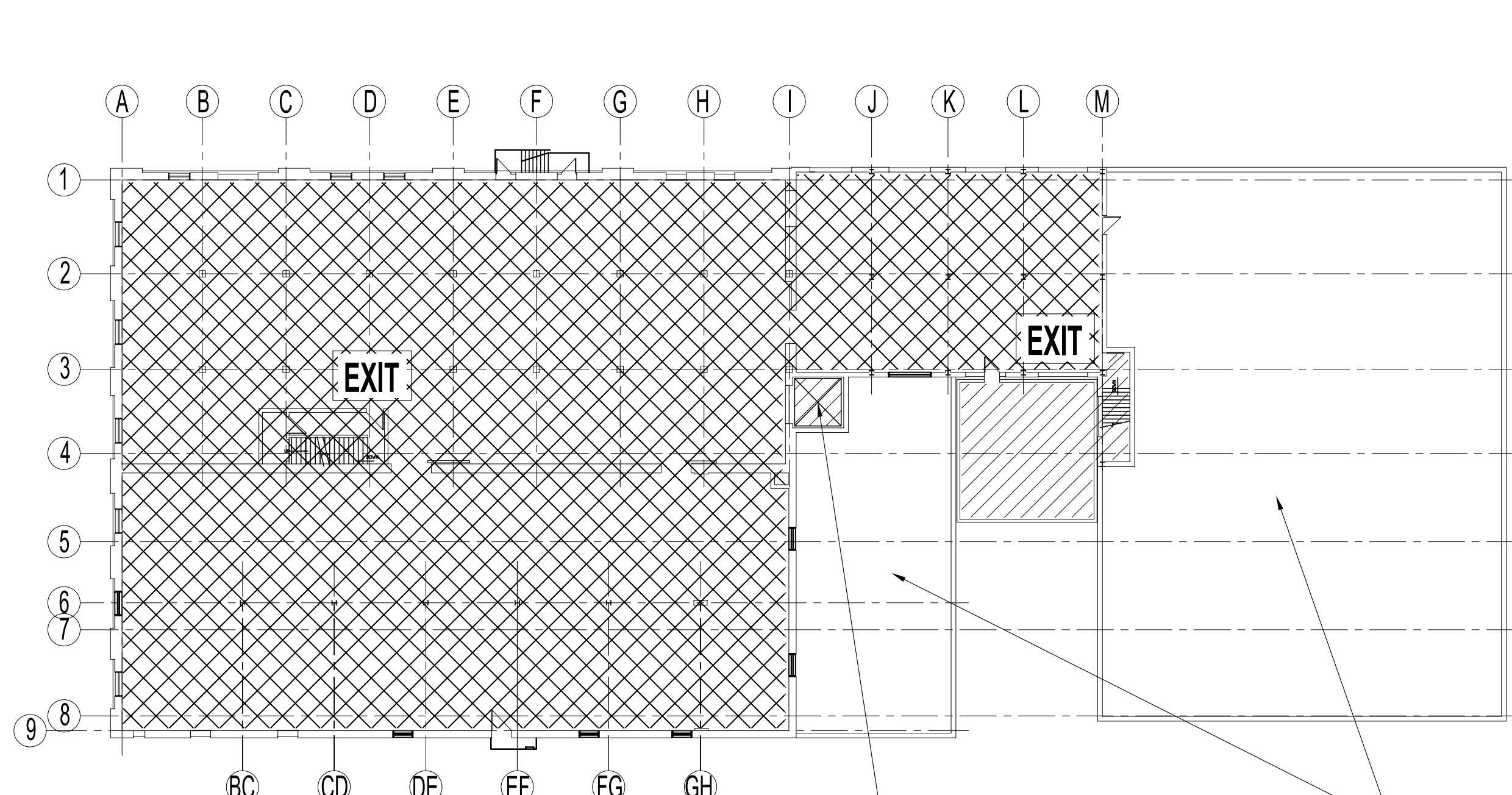
NOTES :
 THESE DRAWINGS SHALL NOT BE SCALED.
 THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY ONESELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.
 THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCT, PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.
 ALL OPENINGS THROUGH FIRE ASSEMBLIES ARE TO BE FIRE STOPPED AND SEALED WITH ULC APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.
 ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.
 THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.
 WHERE NEW FLOORING AND BASE IS TO BE INSTALLED IN EXISTING AREAS (REFER TO FLOOR PLAN AND ROOM SCHEDULE) THE EXISTING FLOORING SURFACE AND BASE MUST BE REMOVED, UNLESS OTHERWISE NOTED. ALL FLOOR SURFACES SHALL BE PREPARED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF NEW FLOOR.
 WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL, UNLESS OTHERWISE NOTED.

DRAWING LIST	
SHEET No:	SHEET TITLE
A1	MAIN & THIRD FLOOR PLAN - SCOPE OF WORK & BUILDING CODE SUMMARY
A2	MAIN FLOOR PLAN - RENOVATION & FLOOR FINISH PLAN
A3	THIRD FLOOR PLAN - RENOVATION
A4	MAIN & THIRD FLOOR PLAN - DEMOLITION
A5	MAIN FLOOR LOBBY REFLECTED CEILING PLAN - DEMOLITION & RENOVATION
A6	DOOR SCHEDULE & DETAILS
A7	MILLWORK PLAN, ELEVATIONS & SECTIONS
M-1.0	MECHANICAL - BASEMENT FLOOR LAYOUT
M-1.1	MECHANICAL - TYPICAL FLOOR LAYOUT
M-1.2	MECHANICAL SPECIFICATIONS
E-0.0	ELECTRICAL DEMOLITION PLAN
E-1.0	ELECTRICAL - MAIN FLOOR LIGHTING LAYOUT
E-1.1	ELECTRICAL - THIRD FLOOR LIGHTING LAYOUT
E-2.0	ELECTRICAL - MAIN FLOOR NEW POWER & SYSTEM LAYOUT
E-2.1	ELECTRICAL - THIRD FLOOR NEW POWER & SYSTEM LAYOUT
E-3.0	ELECTRICAL SCHEDULES
E-4.0	ELECTRICAL - SINGLE LINE DIAGRAM
E-5.0	ELECTRICAL SPECIFICATIONS

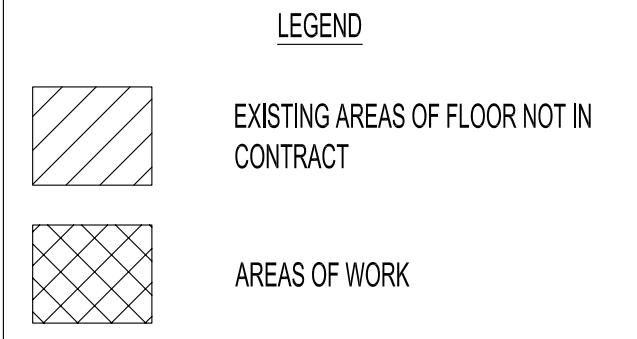
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DATE: 2006.12.01



MAIN FLOOR PLAN - AREA OF WORK 13,913 SQ. FT. (1,293 sq. m.)
N.T.S.



THIRD FLOOR PLAN - AREA OF WORK - 13,096 SQ. FT. (1,217 sq. m.)
N.T.S.



NO.	REVISION/DESCRIPTION	BY	DATE
SEALS			

DRAWN BY	CHKD BY	APPROVED
MMK		
DATE: 2006.12.01	USER APPROVAL	

CITY OF WINNIPEG
 PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT
 CIVIC ACCOMMODATIONS DIVISION
 300 - 65 GARRY ST. R3C 4K4

PROJECT
 SURPLUS STORAGE FACILITY
 REDEVELOPMENT OF MAIN FLOOR AND THIRD FLOOR
 311 ROSS AVENUE

SHEET TITLE
 MAIN & THIRD FLOOR PLAN,
 SCOPE OF WORK &
 BUILDING CODE SUMMARY

SCALE	PROJECT NO.	SHEET NO.
AS SHOWN	2006-069	A1