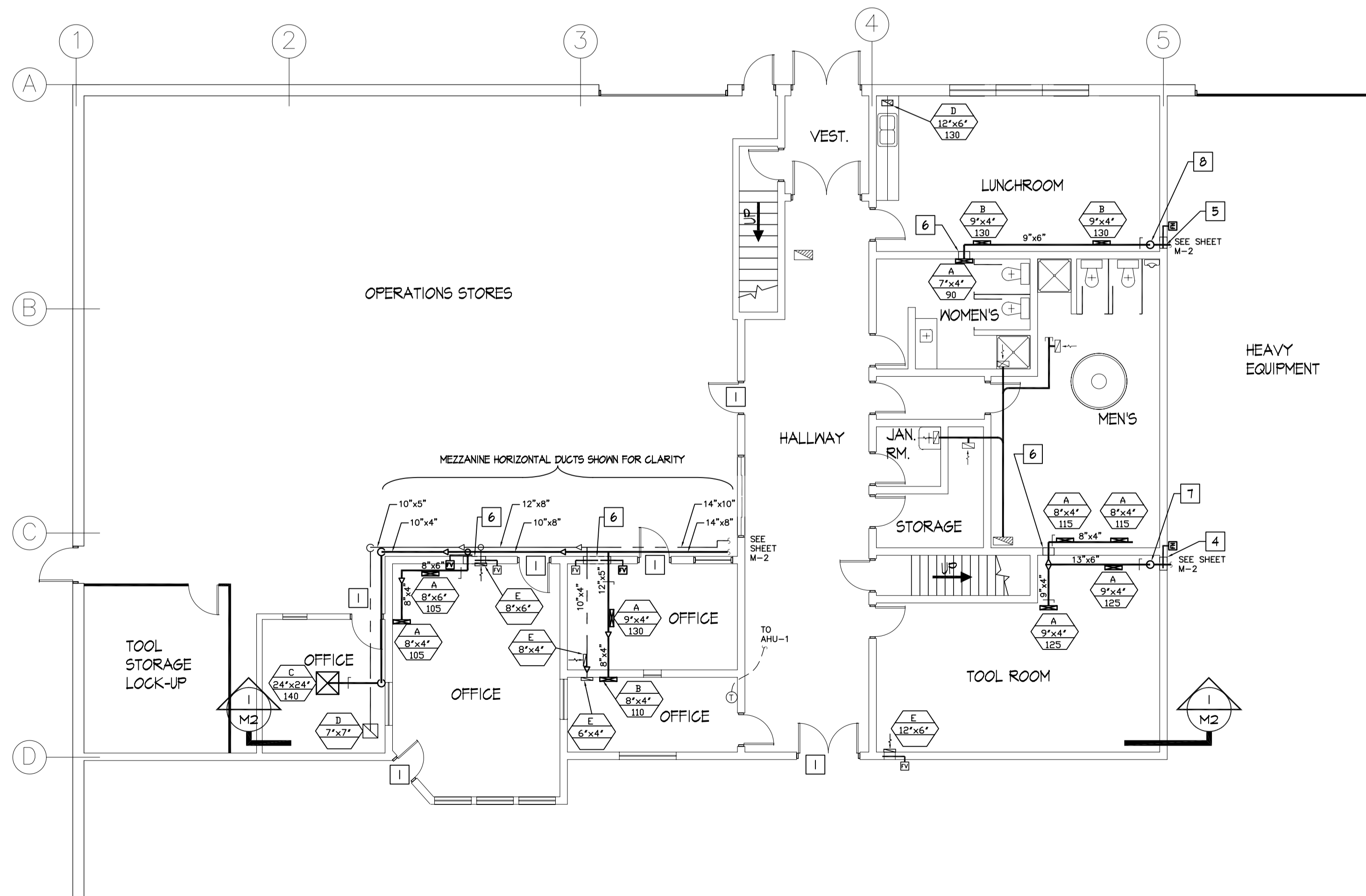


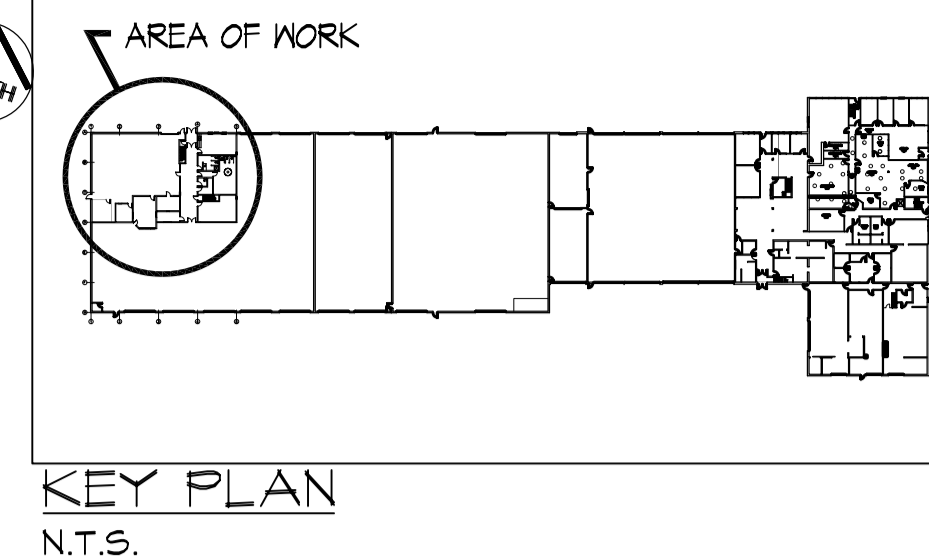
MAIN FLOOR PLAN - DEMOLITION  
SCALE: 1/8"=1'-0"



MAIN FLOOR PLAN - RENOVATION  
SCALE: 1/8"=1'-0"

- MAIN FLOOR DEMOLITION NOTES:**
- REMOVE SUPPLY DUCT & PATCH HOLE WITH SAME TYPE OF CONCRETE BLOCK OR GYPSUM BOARD AS SURROUNDING. PAINT TO MATCH AREA ON BOTH SIDES OF WALL.
  - REMOVE SUPPLY DUCT TO CEILING OPENING AND DISPOSE.
  - REMOVE EXHAUST FAN, M2, & FLEX DUCT & DISPOSE.
  - REMOVE DUCT TO MAIN CONNECTION.
  - RELOCATE SPEAKER TO NEW LOCATION SHOWN. ELEVATION SHALL MATCH EXISTING SPEAKER LOCATION.
  - REMOVE CEILING GRILLE & PATCH CEILING WITH CONCRETE. PAINT TO MATCH EXISTING.

GRILLE SCHEDULE		
TYPE	DESCRIPTION	MANUFACTURER
A	LOWERED SUPPLY, ALUMINUM DOUBLE DEFLECTION MOUNTED ON 4" DEEP TEE SECTION	E.H. PRICE 620/F/L/A CONTRACTOR TO SUPPLY & INSTALL 4" DEEP TEE SECTION
B	LOWERED SUPPLY, ALUMINUM DOUBLE DEFLECTION	E.H. PRICE 620/F/L/A
C	SQUARE PLAQUE DIFFUSER, FIRE-RATED	E.H. PRICE 87/24"x24"/SPD-FR/3/B/2
D	E66 CRATE RETURN, FIRE-RATED, ALUM.	E.H. PRICE 80-FR/F/A
E	LOWERED RETURN, ALUMINUM FIXED LOUVERS	E.H. PRICE 635/F/L/A
F	SQUARE PLAQUE DIFFUSER	E.H. PRICE 87/24"x24"/SPD/3/B/2



KEY PLAN  
N.T.S.

**LEGEND:**

- BALANCE DAMPER (SUPPLY & INSTALL)
- FDV FIRE DAMPER (SUPPLY & INSTALL) STATIC CURTAIN 1-1/2 HOUR VERTICAL FUSIBLE LINK: UL LISTED 165 DEG. F NCA MODEL FD-VB
- FH FIRE DAMPER (SUPPLY & INSTALL) STATIC CURTAIN 1-1/2 HOUR HORIZONTAL FUSIBLE LINK: UL LISTED 165 DEG. F NCA MODEL FD-HB
- SUPPLY GRILLE
- RETURN GRILLE
- SUPPLY DUCT
- RETURN DUCT
- - - DUCT TO BE REMOVE
- ||||| FLEX DUCT (EXISTING)
- M2 (EXISTING EXHAUST FAN)
- ⬡ GRILLE TYPE (SEE GRILLE SCHEDULE) SIZE CFM
- M1 EXISTING OUTSIDE AIR (O.A.) MOTORIZED DAMPER.
- M2 EXISTING RETURN AIR (R.A.) MOTORIZED DAMPER.
- M3 EXISTING MOTORIZED DAMPER FOR EF-5.
- EF-5 EXISTING EXHAUST FAN INTERLOCK TO NEW AHU-1. TO BE ENERGIZED WITH AHU-1.
- SF-1 EXISTING MAKE-UP AIR UNIT.
- SF-4 EXISTING LENNOX ECIO ELECTRIC FURNACE. REMOVE
- CU-1 EXISTING YORK CONDENSING UNIT. REMOVE
- AHU-1 (SUPPLY & INSTALL) DIRECT-VENT VARIABLE CAPACITY DELUXE CONDENSING GAS FURNACE, TWO 24" MEDIA FILTER CABINETS & NECESSARY ACCESSORIES TO PROVIDE FULL HVAC FUNCTION OF AHU-1, EC-1 & CU-2. CARRIER MODEL 58MVP-120-F-1-20 INPUT: 120,000 BTUH OUTPUT: 112,000 BTUH AIRFLOW: 2000 CFM EXTERNAL STATIC PRESSURE: 0.5" W.C.
- EC-1 (SUPPLY & INSTALL) CASED EVAPORATOR WIDE A-COIL, 5-TON CARRIER MODEL CDSAXN060031
- CU-2 (SUPPLY & INSTALL) AIR CONDITIONER 5-TON FOR LOW-AMBIENT APPLICATION (BELOW 55 DEGREE F). CRANK/CASE HEATER, EVAPORATOR FREEZE THERMOSTAT, LOW-AMBIENT PRESSURE SWITCH OR EQUIV. CONTROL & BALL BEARING FAN. 208/230V, 3PH, 60HZ. CARRIER MODEL 38CKC060-5
- ① (SUPPLY & INSTALL) PROGRAMMABLE THERMOSTAT SINGLE STAGE ONE HEAT/ONE COOL JOHNSON CONTROLS MODEL T500HCP-1.

- MAIN FLOOR RENOVATION NOTES:**
- DUCTS SHALL BE CONSTRUCTED TO MINIMIZE STATIC PRESSURE, IE. DUCT 45 DEGREE WYES.
- TURNING VANES REQUIRED ON 90 DEGREE MAIN DUCTS, SEE MECHANICAL SPECIFICATIONS.
- (SUPPLY & INSTALL) INSTALL M21 SMOKE SEALS & CT50 DOOR SWEEPS ON DOOR SUPPLY & ATTACH PAINTED 16 GAUGE STEEL ON TOP OF EXISTING DOOR GRILLE, 18"x18", BOTH SIDES, IF EXIST.
  - NEW OPENING FOR SUPPLY & RETURN DUCT LOCATIONS TO PASS THRU FULL CONCRETE BLOCKS FROM MINIMUM DIMENSIONS SHOWN.
  - PATCH CEILING HOLE & PAINT TO MATCH.
  - REMOVE DUCT BACK TO MAIN. ENLARGE & DETAIL OPENING AS SHOWN IN SHEET S1.
  - NEW MASONRY OPENING, SEE SHEET S1.
  - NEW MASONRY OPENING. REMOVE FULL CONCRETE BLOCKS TO SUIT NEW DUCT PASS THRU. NEW TOP OF DUCT ELEVATION SHALL BE AS HIGH AS POSSIBLE, I.E. MAXIMUM 4" FROM CEILING. PATCH REMAIN OPENING WITH PARTIAL CONCRETE BLOCKS AND GROUT. PAINT TO MATCH.
  - NEW DUCT TRANSITION REQUIRED TO RUN UNDER FIRE SPRINKLER LINE. TOP OF NEW DUCT SHALL BE 2" MAXIMUM TO UNDERSIDE OF CEILING.
  - NEW DUCT TRANSITION REQUIRED TO RUN UP TO CEILING IMMEDIATELY AFTER FIRE SPRINKLER LINE, 2" MAXIMUM TO UNDERSIDE OF CEILING & 1" MAXIMUM FROM WALL.

**SEQUENCE OF OPERATIONS**

**OCCUPIED MODE**

- HEATING**
- BLOWER TO RUN CONTINUOUSLY AT LOW SPEED.
  - WHEN THERMOSTAT CALLS FOR HEAT, GAS VALVE MODULATES AND BLOWER SPEED VARIES TO SATISFY THERMOSTAT SET POINT.
  - BLOWER MOTOR AND INDUCER FAN MODULATES AS REQUIRED.
  - MINIMUM OUTSIDE AIR TO BE 20%.

**COOLING**

- BLOWER TO RUN CONTINUOUSLY AT LOW SPEED.
- WHEN THERMOSTAT CALLS FOR COOLING, CONDENSING UNIT IS ENERGIZED TO SATISFY THERMOSTAT SETPOINT.
- MINIMUM OUTSIDE AIR TO BE 20%.

**UNOCCUPIED MODE**

- HEATING**
- DAMPER SECTION SET TO 100% RETURN AIR WITH OUTSIDE AIR DAMPER CLOSED.
  - UNIT TO RUN ON DEMAND FROM THERMOSTAT SETPOINT.

**COOLING**

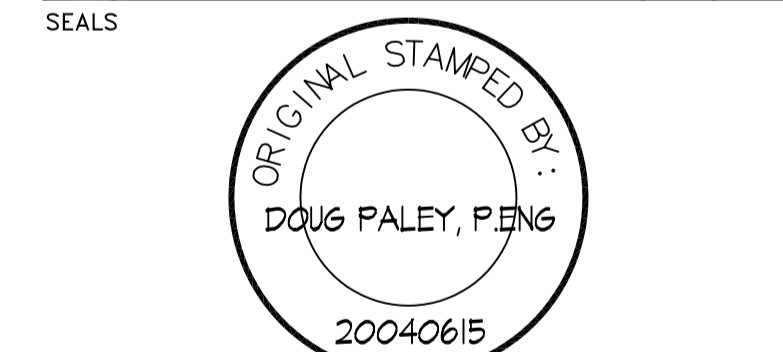
- DAMPER SECTION SET TO 100% RETURN AIR WITH OUTSIDE AIR DAMPER CLOSED.
- UNIT TO RUN ON DEMAND FROM THERMOSTAT SETPOINT (24 DEGREE C).

- NOTES:**
- THESE DRAWINGS SHALL NOT BE SCALED.
  - THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY ONESELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.
  - THE CONTRACTOR IS TO REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
  - THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCT, PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.
  - ALL OPENINGS THROUGH FIRE ASSEMBLIES ARE TO BE FIRE STOPPED AND SEALED WITH U.L.C. APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.
  - ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.
  - WHERE NEW FLOORING AND BASE IS TO BE INSTALL IN EXISTING AREAS (REFER TO FLOOR PLAN AND ROOM SCHEDULE) THE EXISTING FLOORING SURFACE AND BASE MUST BE REMOVED, UNLESS OTHERWISE NOTED. ALL FLOOR SURFACES SHALL BE PREPARED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF NEW FLOOR.
  - WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL, UNLESS OTHERWISE NOTED.

**SHEET INDEX**

M1	MAIN FLOOR PLAN: MECHANICAL; DEMOLITION & RENOVATION
M2	MEZZANINE FLOOR PLAN: MECHANICAL; DEMOLITION & RENOVATION
M3	MECHANICAL SPECIFICATIONS
E1	ELECTRICAL SPECIFICATIONS
S1	STRUCTURAL: ELEVATION & SECTION

NO.	REVISION/DESCRIPTION	BY	DATE



DRAWN BY	DTA	CHECKED BY	APPROVED
DATE	2004.05.20	USER APPROVAL	

CITY OF WINNIPEG  
PLANNING, PROPERTY &  
DEVELOPMENT DEPARTMENT  
CIVIC ACCOMMODATIONS DIVISION  
300 - 65 GARRY ST. R3C 4K4

PROJECT  
PUBLIC WORKS SOUTH YARD  
RENOVATIONS TO FLEET MGMT.  
SHOPS OFFICE AREA  
1539 WAYERLEY STREET

SHEET TITLE  
MAIN FLOOR PLAN  
MECHANICAL  
DEMOLITION & RENOVATION

SCALE	PROJECT NO.	SHEET NO.
AS SHOWN	2003-220	M1