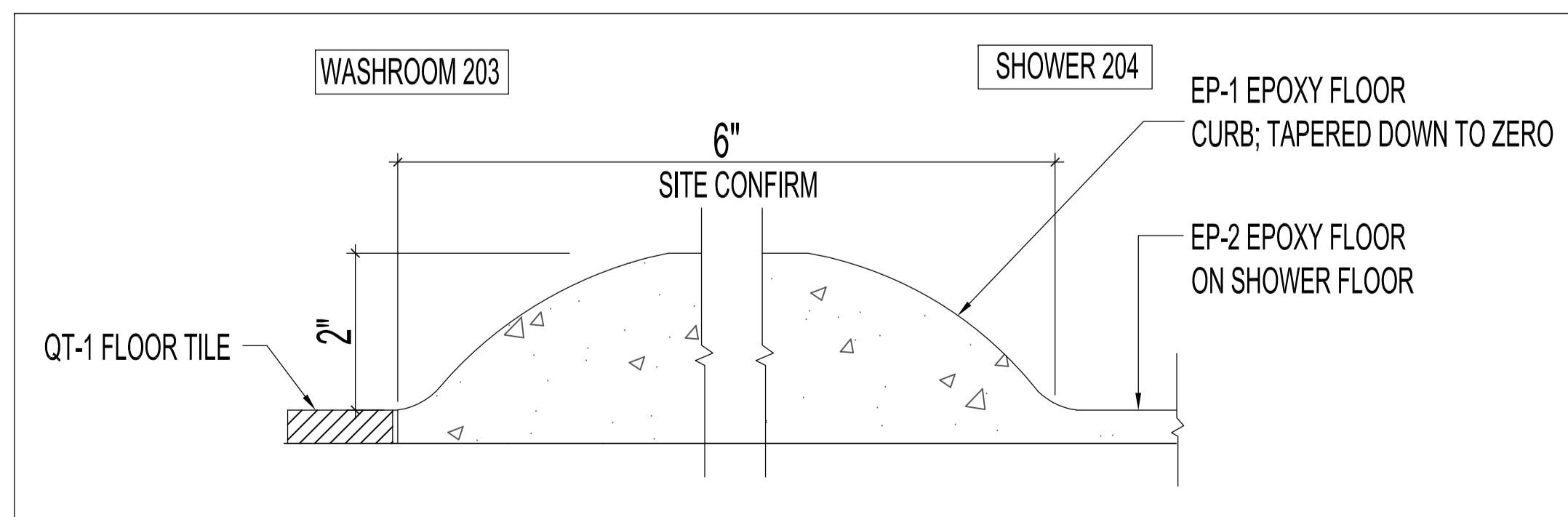


ROOM FINISH SCHEDULE

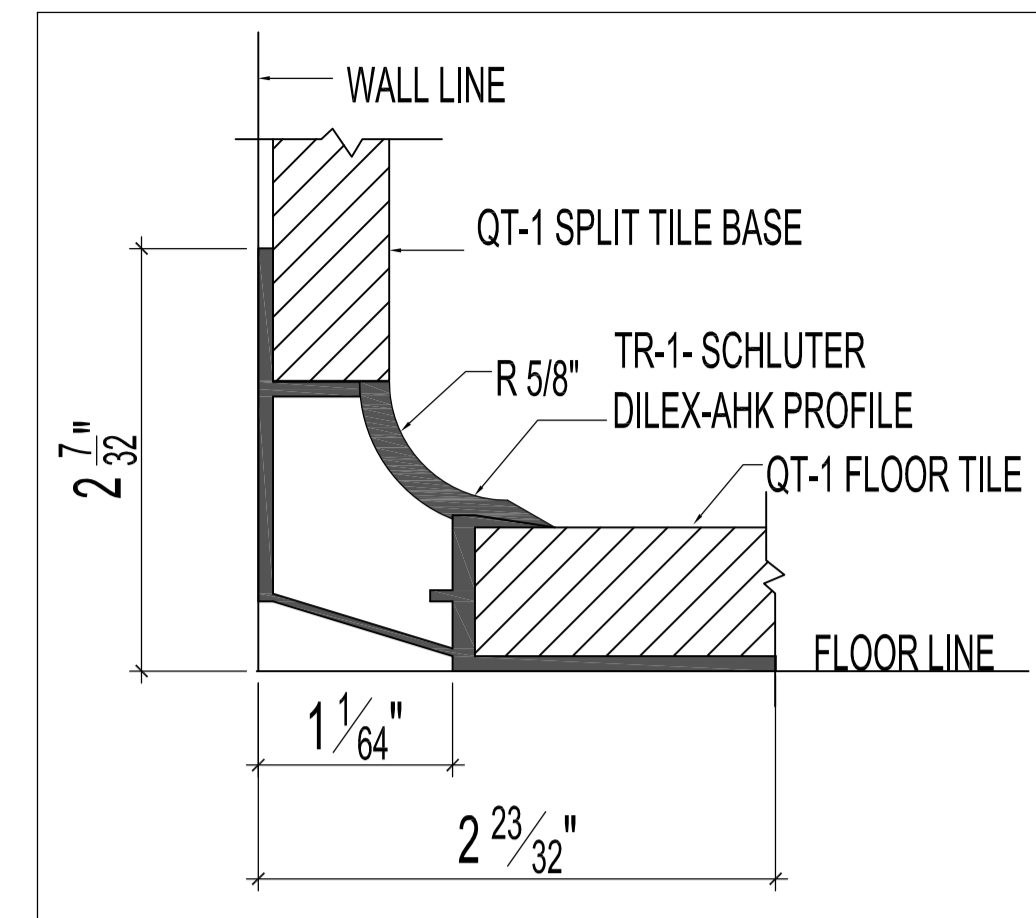
ROOM NO.	ROOM NAME	FLOOR	BASE	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING TYPE	CEILING FINISH	CEILING HEIGHT	NOTES
B-01	CORRIDOR	EX.- SVF	EX.- RCB	N/A	N/A	PT-2		EX.-ACT	N/A	7'-6"	NOTE:1
B-02	SHOWER	QT-1	QT-1	PT-3	PT-3	PT-3	PT-3	GWB	PT-4	7'-6"	NOTE:3 NOTE:5 NOTE:9
B-03	WASHROOM	QT-1	QT-1	PT-3	PT-3	PT-3	PT-3	GWB	PT-4	7'-6"	NOTE:3 NOTE:5 NOTE:9
B-04	DINING ROOM	EX.- SVF	EX.- RCB	PT-6	PT-8	PT-2	PT-8	EX.-ACT	EX.-ACT	7'-6"	NOTE:1
B-05	KITCHEN	EX.- SVF	EX.- RCB	PT-6	PT-6	PT-6	PT-6	EX.-ACT	EX.-ACT	7'-6"	NOTE:1
B-06	STORAGE	EX.- SVF	EX.- RCB	PT-6	PT-6	PT-6	PT-6	EX.-ACT	EX.-ACT	7'-6"	NOTE:1
B-07	LOUNGE	EX.- SVF	EX.- RCB	PT-8	PT-6	PT-2	PT-8	EX.-ACT	EX.-ACT	7'-6"	NOTE:1
B-08	EXERCISE ROOM	EX.- VCT	EX.- RCB	PT-2	PT-10	PT-2	PT-2	EX.-ACT	EX.-ACT	7'-6"	NOTE:1
100	VESTIBULE	EX.- SVF	EX.- RCB	PT-2	PT-2	PT-2	PT-2	EX.-GWB	PT-4	8'-0"	NOTE:1
101	WAITING AREA	EX.- SVF	EX.- RCB	N/A	PT-2	PT-7	EX.-BR.	EX.-GWB	PT-4	12'-2"	NOTE:1 NOTE:2
102	WATCH DESK	SVF-1	RCB-1	N/A	PT-2	PT-2/BR.	PT-7	EX.-GWB	PT-4	9'-2"	NOTE:1 NOTE:2
103	CORRIDOR	EX.- SVF	EX.- RCB	PT-2	N/A	PT-2/BR.	N/A	EX.-GWB	PT-4	12'-2"	
104	CAPTAIN'S OFFICE	EX.- SVF	EX.- RCB	PT-7	PT-5	PT-5	EX.-BR.	EX.-ACT	EX.-ACT	8'-9"	NOTE:1
105	GENERAL OFFICE	EX.- SVF	EX.- RCB	PT-7	PT-5	EX.-BR.	PT-7	EX.-ACT	EX.-ACT	8'-9"	NOTE:1 NOTE:2
	STAIR 2	EX.- RST	N/A	PT-2	N/A	N/A	N/A	EX.-GWB	PT-4	12'-2"	NOTE 7.
200	CORRIDOR	QT-1	QT-1	PT-2	N/A	PT-2	PT-2	EX.-GWB	PT-4	12'-2"	NOTE 9.
201	DORMITORY	QT-1	QT-1	PT-6	PT-6	PT-6	PT-6	EXP.	PT-4	VARIES	NOTE:1 NOTE 6. NOTE 8. NOTE: 9
202	LOCKER ROOM	QT-1	RCB-1	PT-6	PT-7	PT-6	PT-6	ACT	ACT-1	7'-6"	NOTE:1 NOTE: 9
203	WASHROOM	QT-1	QT-1	PT-3	PT-3	PT-3	PT-3	GWB	PT-4	7'-6"	NOTE:1 NOTE:3 NOTE:4 NOTE:5
204	SHOWERS	EP-1	EP-1	PT-3	PT-3	PT-3	PT-3	GWB	PT-4	7'-6"	NOTE:4 NOTE:5 NOTE 10
205	MOP ROOM	EP-1	EP-1	PT-3	PT-3	PT-3	PT-3	GWB	PT-4	7'-6"	NOTE:5 NOTE:10
206	CORRIDOR	QT-1	QT-1	PT-2	PT-2	PT-2	PT-2	EX.-GWB	PT-4	8'-0"	NOTE 9.
207	CAPTAIN'S ROOM	QT-1	QT-1	PT-5	PT-5	PT-5	PT-5	EX.-GWB	PT-4	9'-0"	NOTE:1
208	FIRE PREV. OFFICE	QT-1	QT-1	PT-5	PT-5	PT-5	PT-5	EX.-GWB	PT-4	9'-0"	NOTE:1
209	LIEUTENANT	QT-1	QT-1	PT-5	PT-5	PT-5	PT-5	EX.-GWB	PT-4	9'-0"	NOTE:1
210	UNISEX WASHROOM	QT-1	QT-1	PT-3	PT-3	PT-3	PT-3	EX.-GWB	PT-4	9'-0"	NOTE:1 NOTE:3 NOTE:5
211	CORRIDOR	EX.- SVF	EX.- RCB	N/A	N/A	N/A	N/A	EX.-GWB	EX.		

ABBREVIATIONS: ACT, -ACOUSTIC CEILING TILE BR- EXISTING BRICK CB.- CEMENT BOARD CMU.- CONCRETE MASONRY UNIT EP- EPOXY FLOORING
 EP- EPOXY RESINOUS PAINT EX.- EXISTING EXP.- EXPOSED GWB.- GYPSUM WALL BOARD N/A- NOT APPLICABLE PT.-PAINT QT- QUARRY TILE
 RB.- RUBBER COVERED BASE RF.- RUBBER FLOORING RST.- RUBBER STAIR TREADS SVF- SHEET VINYL FLOORING TWF- TACTILE WARNING FLOOR

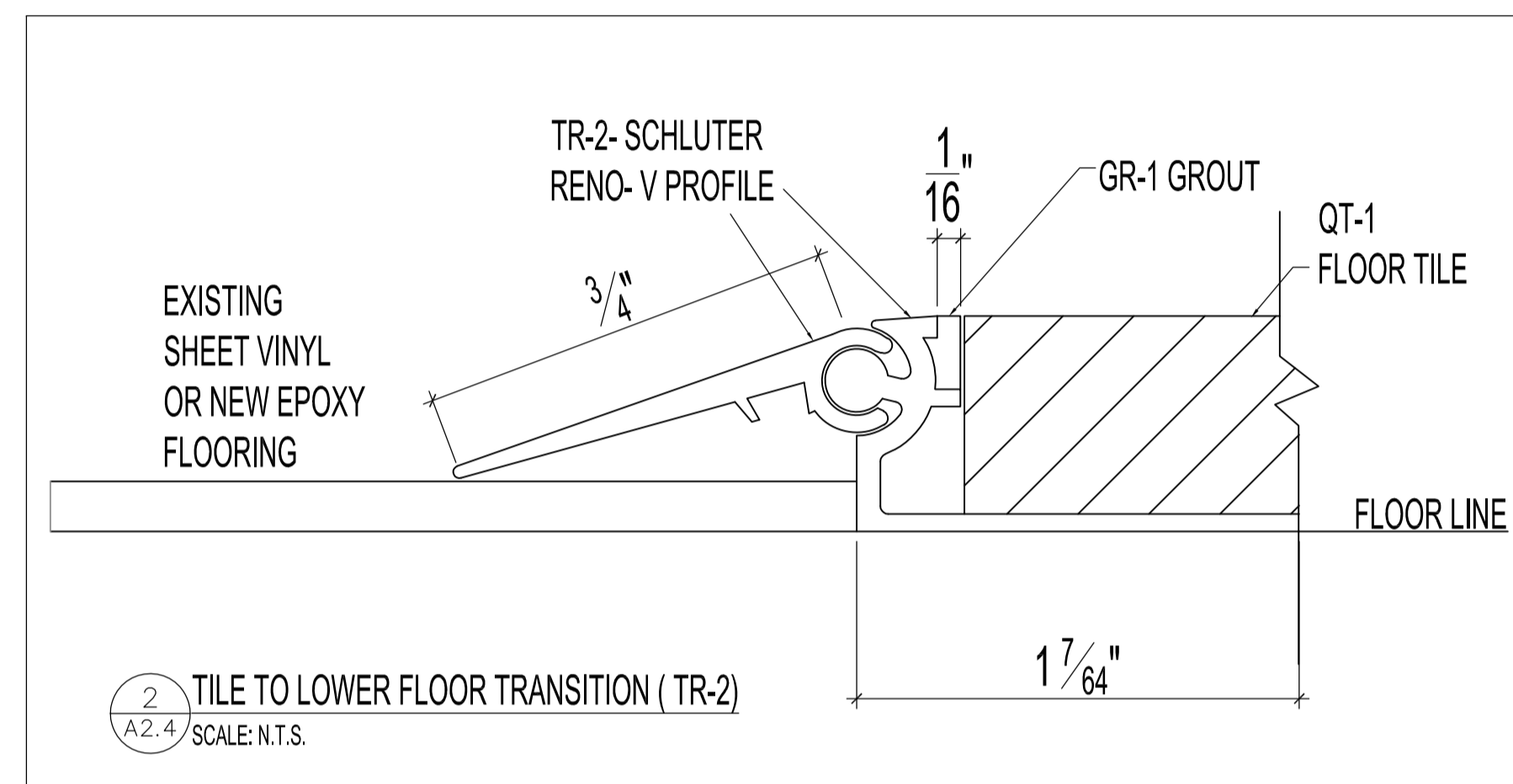
NOTES:
 NOTE:1- RADIATOR PAINTED TO MATCH WALL COLOR.
 NOTE: 2- EXISTING BRICK NOT TO BE PAINTED.
 NOTE: 3- NEW FLOORING TO GO UNDER VANITY COUNTER.
 NOTE: 4- EPOXY FLOOR REQUIRED FOR NEW SHOWER CURB. REFER TO DETAIL 5/ A2.4
 NOTE: 5- LEVEL 3 FINISH REQUIRED ON GWB/ CEMENT BOARD.
 NOTE: 6- EXPOSED CEILING TRUSSES PAINTED PT-4
 NOTE: 7- REPAINT STRINGERS PT-1.
 NOTE: 8- CEILING SLOPES DOWN FROM 164" DOWN TO 118".
 NOTE: 9- TRANSITION STRIP TR-2 FROM TILE TO SHEET VINYL REQ'D.
 NOTE: 10- TRANSITION STRIP TR-2 FROM TILE TO EPOXY FLOOR REQ'D.



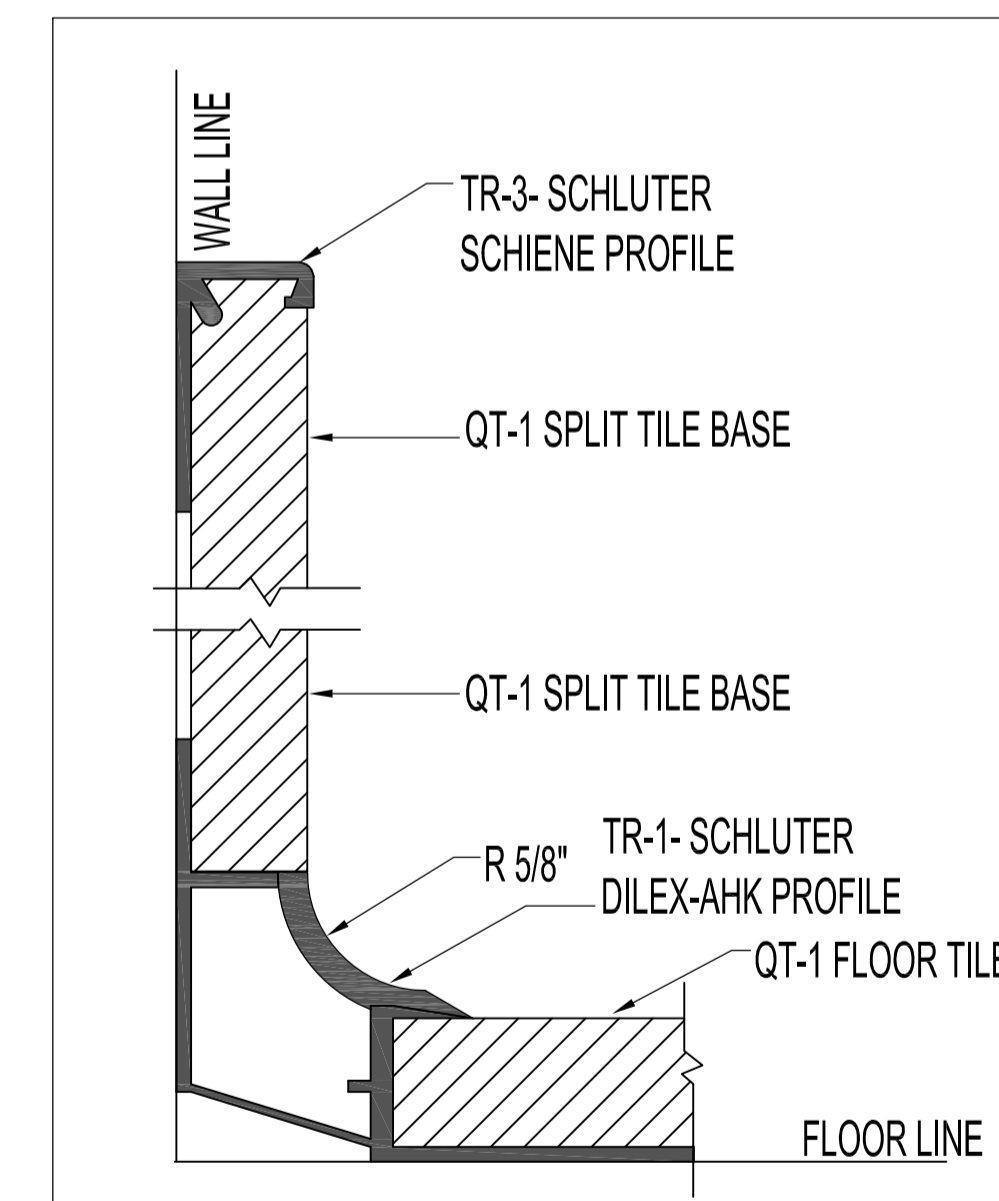
5 SHOWER CURB DETAIL
A2.4 SCALE: 1'-0"=1'-0"



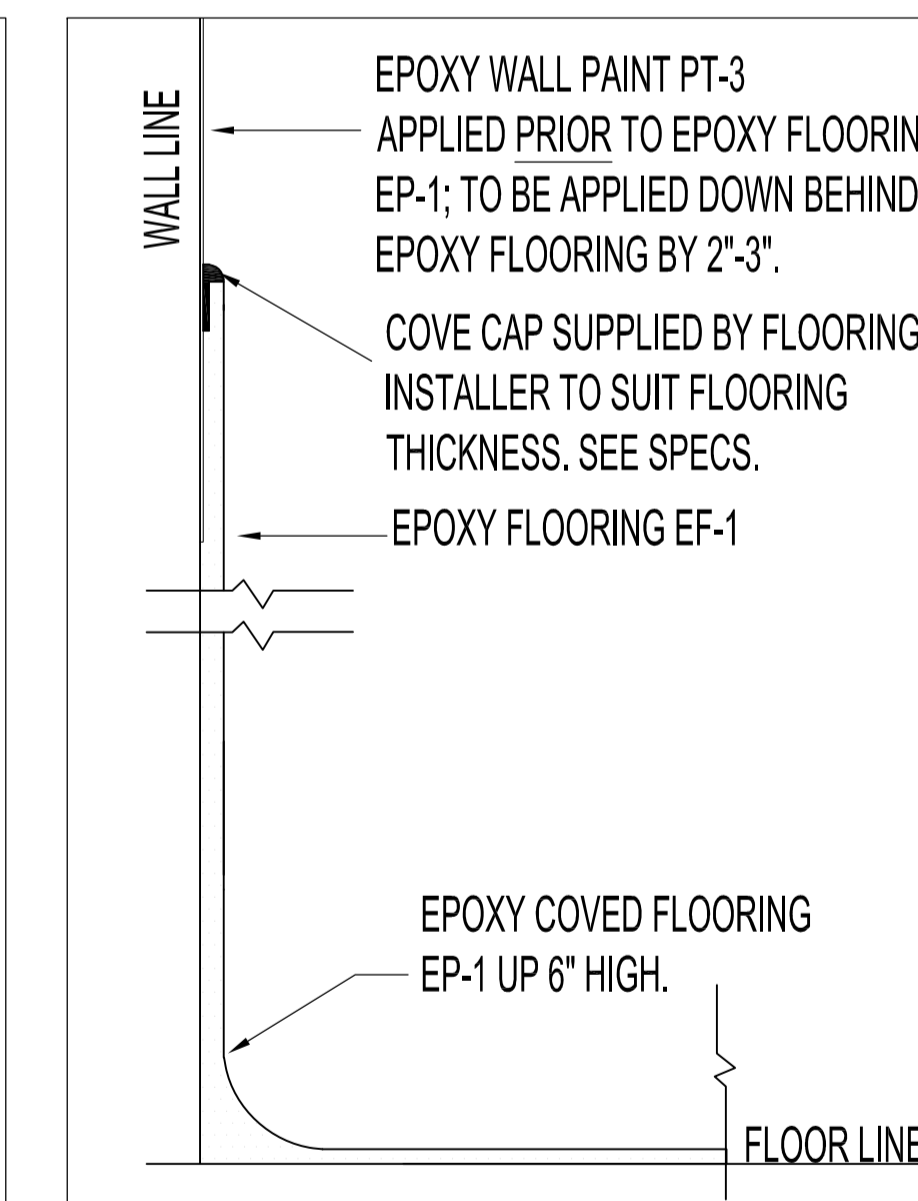
1 COVED TILE DETAIL (TR-1)
A2.4 SCALE: 1'-0"=1'-0"



2 TILE TO LOWER FLOOR TRANSITION (TR-2)
A2.4 SCALE: N.T.S.



3 SPLIT TILE BASE CAP DETAIL
A2.4 SCALE: 1'-0"=1'-0"



4 EPOXY COVERED BASE CAP DETAIL
A2.4 SCALE: 1'-0"=1'-0"

FINISH NOTES

① ALL FINISHES LISTED ON THE DRAWINGS ARE THE SELECTED PRODUCTS OF THE WINNIPEG FIRE PARAMEDIC SERVICE BASED ON INDUSTRY STANDARDS, DURABILITY, QUALITY, AND MAINTENANCE PURPOSES FOR A HEAVY USE 24 / 7 ENVIRONMENT. HOWEVER ALTERNATE FINISHES AND OR PRODUCTS MAY BE CONSIDERED AS AN APPROVED SUBSTITUTE IN ACCORDANCE WITH MATERIALS MANAGEMENT POLICY B7 AS PER THE TENDER DOCUMENTS.

NOTES:
 THESE DRAWINGS SHALL NOT BE SCALED. CONSULT WITH CONTRACT ADMINISTRATOR AND DESIGNER ON ANY CONCERNS.
 SUBMISSION OF SITE MARK-UPS, AS-BUILTS, OPERATING & MAINTENANCE MANUALS AND OTHER SUPPORTING DOCUMENTS TO CLIENT ARE MANDATORY AT THE COMPLETION OF THIS PROJECT.
 THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY ONESELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.
 THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCTS, PIPES & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.
 ALL OPENINGS THROUGH FIRE ASSEMBLIES INCLUDING FLOORS AND CEILINGS ARE TO BE FIRE STOPPED AND SEALED WITH U.L.C. APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.
 ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS, APPLICABLE CODES AND AUTHORITY HAVING JURISDICTION.
 THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING PART OF THE RENOVATION WORK.
 WHERE NEW FLOORING AND BASE IS TO BE INSTALLED IN EXISTING AREAS (REFER TO FLOOR PLAN AND ROOM SCHEDULE) THE EXISTING FLOORING SURFACE AND BASE MUST BE REMOVED, UNLESS OTHERWISE NOTED. ALL FLOOR SURFACES SHALL BE PREPARED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF NEW FLOOR.
 WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL, UNLESS OTHERWISE NOTED.
 ALL NEW LIGHTING FIXTURES & NEW RECEPTACLES TO BE CONNECTED TO APPROPRIATE PANELS.
 GENERAL DUTY RECEPTACLES SHALL BE WHITE & CSA APPROVED, C/W STAINLESS STEEL TRIM PLATES MOUNTED 18" ABOVE FINISHED FLOOR OR OTHERWISE NOTED.
 THERMOSTATS, FIRE ALARM PULL STATIONS & OCCUPANCY LIGHT SWITCHES SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR OR OTHERWISE NOTED.
 ALL ABANDONED ELECTRICAL FIXTURES, COMPONENTS, RECEPTACLE & DATA WIRING SHALL BE REMOVED BACK TO SOURCE & TERMINATED AS PER APPLICABLE CODES. IF APPLICABLE, THIS INCLUDES WIRING CONTAINED IN HEADER DUCTS IN-FLOOR.
 REFER TO CITY OF WINNIPEG, MATERIALS MANAGEMENT GENERAL TERMS & CONDITIONS FOR PROJECT: [HTTP://WINNIPEG.CAMATMGTGEN.COM](http://WINNIPEG.CAMATMGTGEN.COM).STM
WARNING:
 ASBESTOS KNOWN TO BE PRESENT IN DRYWALL CEILINGS ON MAIN AND SECOND FLOOR, AND SOME DRYWALL WALLS. ASBESTOS MAY BE PRESENT IN OTHER AREAS. IF ASBESTOS OR ANY HAZARDOUS MATERIAL IS FOUND, STOP WORK IMMEDIATELY & CONTACT CITY OF WINNIPEG, CENTRAL CONTROL, PH: 204-986-2351.

No.	REVISION/DESCRIPTION	BY	DATE
2	ADDENDUM # 2		JULY 20 / 2020
1	ADDENDUM # 1		JULY 15 / 2020
0	ISSUED FOR CONSTRUCTION		JUNE 22 / 2020
00	ISSUED FOR CLIENT REVIEW		MAY 22 / 2020
000	ISSUED FOR CLIENT REVIEW		APRIL 17 / 2020

DATE	USER	APPROVAL
2020.06.22		

THE CITY OF WINNIPEG
 PLANNING, PROPERTY AND
 DEVELOPMENT DEPARTMENT
 MUNICIPAL ACCOMMODATIONS DIVISION
 3-65 GARRY STREET, R3C 4K4

PROJECT
 WINNIPEG FIRE PARAMEDIC SERVICES
 FIRE STATION # 23
 RENOVATIONS TO WASHROOMS AND SECOND FLOOR
 880 DALHOUSIE DRIVE TENDER NO. 349-2020

SHEET TITLE
 ROOM FINISH SCHEDULE
 FLOORING DETAILS

SCALE AS SHOWN PROJECT No: 2019-147 SHEET No: A2.4R2