

Air Conditioner condensing units (heat exchanger) may be located in a required yard subject to the following:

1. **IN ANY REQUIRED FRONT YARD** they shall provide a minimum separation of fifteen (15) feet measured laterally to an openable window of a habitable room on an adjoining lot. In addition; the unit must be completely screened and maintained with a compact hedge or shrubs or other appropriate landscaping to the satisfaction of the director.

2. **IN ANY REQUIRED SIDE YARD** they shall provide a minimum separation of fifteen (15) feet measured laterally to an openable window of a habitable room on an adjoining lot and shall provide a minimum setback of two (2) feet to any side lot line.
3. **IN ANY REQUIRED REAR YARD** they shall provide a minimum separation of fifteen (15) feet to an openable window of a habitable room on an adjoining lot, a minimum setback of two (2) feet to any side lot line

and a minimum setback of two (2) feet to the rear property line if abutting a residential property with no intervening lane.

"Habitable Room" means a room or enclosed space used or intended to be used for living, sleeping, cooking or eating purposes, excluding bathrooms, water closet compartments, laundries, pantries, foyers, communicating corridors, closets, storage rooms, and rooms in basements or cellars used only for recreational purposes.

FIGURE A

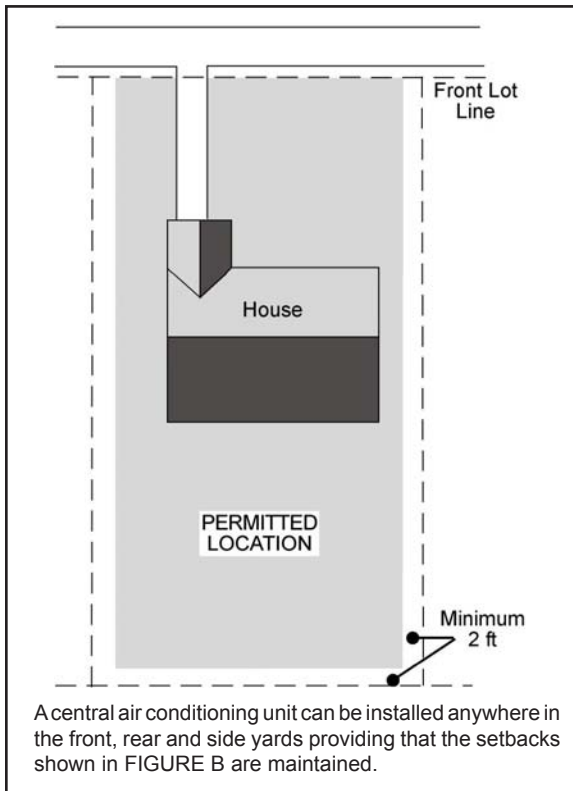
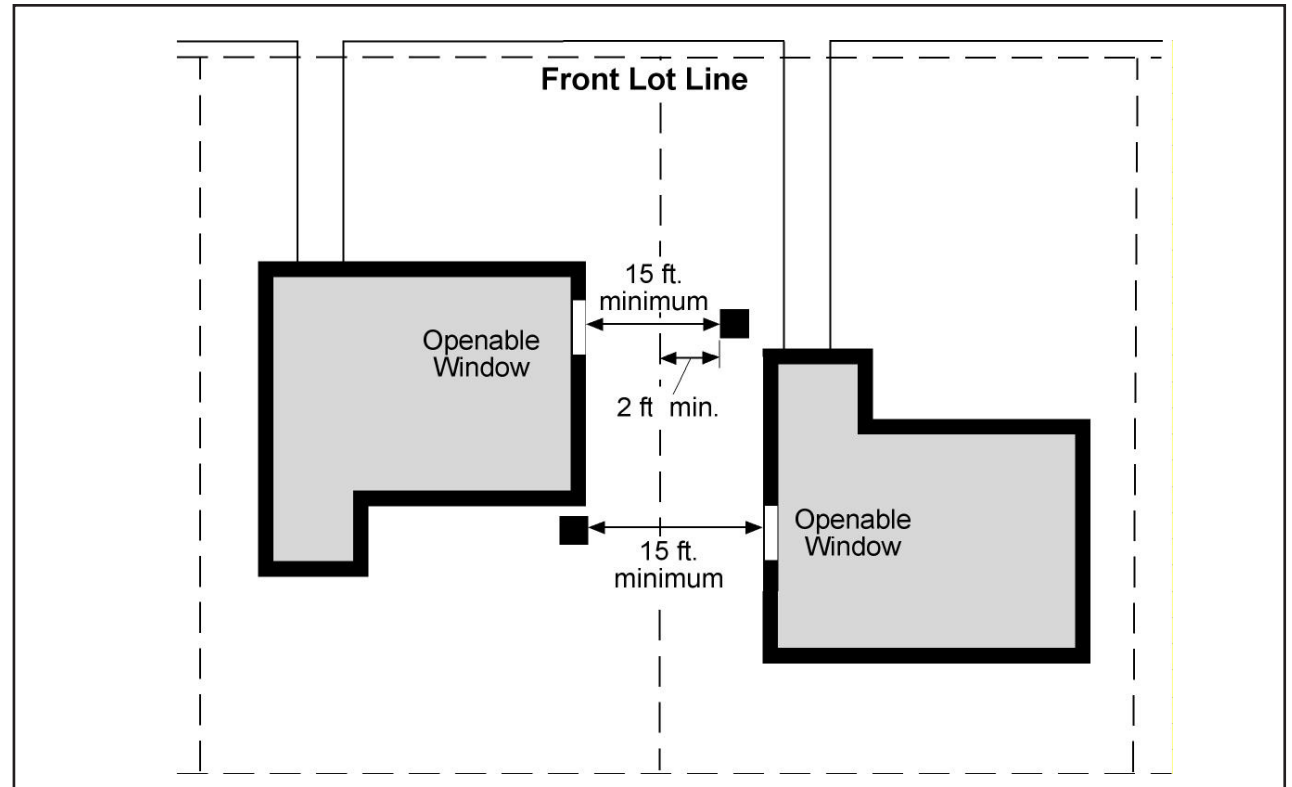


FIGURE B

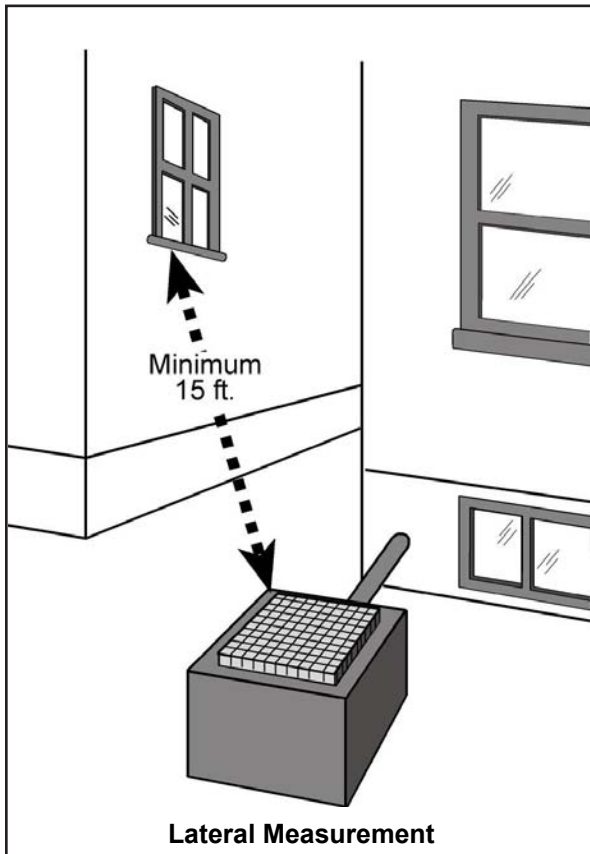


Should you have further inquiries or questions please contact the Zoning and Permits Branch at 986-5140.



Planning, Property  
and Development  
Department

FIGURE C



*Every effort has been made to ensure the accuracy of information contained in this booklet. However, in the event of a discrepancy between this booklet and the governing City of Winnipeg By-law, the By-law will take precedence.*



For more information on this brochure please contact:

**Zoning & Permits Branch**  
PH: 204-986-5140  
FAX: 204-986-6347

or



**Winnipeg**  
*at your service.*

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MARCH 2003

# Central Air Conditioners

