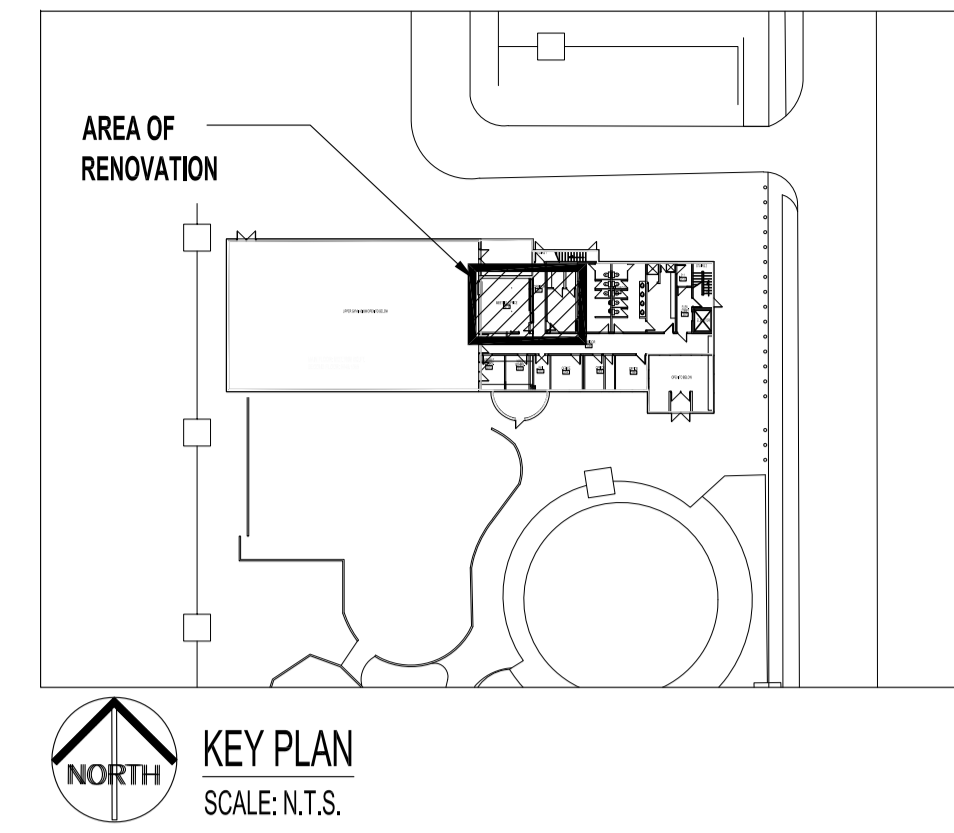


DEMOLITION PLAN
SCALE: 3/8"=1'-0"



DEMOLITION DRAWING LEGEND

EXISTING DOORS	
EXISTING DOORS TO BE REMOVED	
EXISTING WALLS TO BE REMOVED	
DEMOLITION DRAWING NOTE	
DENOTES AREA/ITEM NOT IN CONTRACT	N.I.C.

- DEMOLITION NOTES**
- REMOVE EXISTING PORTION OF WALL AS INDICATED. PATCH AND MAKE GOOD WALL TO RECEIVE NEW DOOR. SEE CONSTRUCTION DRAWING A2.1 AND SPECIFICATIONS FOR FURTHER DETAIL.
 - REMOVE AND RELOCATE EXISTING DUPLEX OUTLETS AND SWITCHES THAT MAY INTERFERE WITH NEW LAYOUT. REFER TO ELECTRICAL.
 - REMOVE ALL EXISTING MILLWORK UPPER AND BASE CABINETS. CABINETS TO BE DISPOSED OF. PATCH AND MAKE GOOD WHERE REQ'D FLOOR AND WALLS. SEE SPECIFICATIONS FOR FURTHER DETAIL.
 - REMOVE EXISTING SERVERY WINDOW SHUTTER. TURN OVER TO CITY. SEE CONSTRUCTION PLAN FOR NEW SERVERY SHUTTER. CONFIRM EXISTING SERVERY WINDOW FRAMING 45 MINUTE FIRE RATED. POTENTIAL DELETABLE ITEM #3 AS PER FORM B. PRICES, CONFIRM W/ CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION.
 - REMOVE EXISTING SERVERY WINDOW SHUTTER AND STRUCTURAL SUPPORTS IF APPLICABLE. TURN OVER TO CITY. INFILL AND ALIGN NEW WALL FLUSH TO EXISTING. PREPARE WALL FOR NEW SPEC'D PAINT. SEE SPECIFICATIONS FOR FURTHER DETAIL.
 - REMOVE EXISTING DOOR AND FRAMES.
 - REMOVE ALL EXISTING FLOORING MATERIAL - VINYL SHEET FLOORING AND RUBBER BASE. PATCH AND MAKE GOOD TO RECEIVE NEW FINISH. SEE SPECIFICATIONS FOR FURTHER DETAIL.
 - REMOVE ALL EXISTING APPLIANCES (i.e. FRIDGE, STOVE, EXHAUST HOOD, FREEZER, MICROWAVE). RECYCLE ALL EXISTING APPLIANCES NOT SCHEDULED FOR REUSE THROUGH APPROPRIATE RECLAMATION PROGRAM. REFER TO EQUIPMENT SCHEDULE FOR LIST OF REUSED APPLIANCES. REFER TO A2.1 NEW CONSTRUCTION FOR NEW LOCATION OF THOSE TO BE REUSED.
 - REMOVE EXISTING SINK AND FAUCET.
 - REMOVE EXISTING DISHWASHER. SALVAGE FOR RE-USE. REFER TO A2.1 NEW CONSTRUCTION PLAN FOR NEW LOCATION.
 - REMOVE IF APPLICABLE. CLOCKS, TACKBOARDS AND/OR ARTWORK. RETAIN AND RE-INSTALL AFTER CONSTRUCTION IS COMPLETE. SITE CONFIRM LOCATIONS PRIOR TO RE-INSTALL.
 - REMOVE EXISTING FIRE EXTINGUISHERS AND FIRE PLANS FROM WALL(S). RETAIN FIRE PLANS AND RE-INSTALL AFTER CONSTRUCTION IS COMPLETE. TURN OVER FIRE EXTINGUISHERS TO CITY.
 - PATCH AND MAKE GOOD EXISTING WALLS. CLEAN SURFACE AND PREPARE FOR NEW PAINT.

NOTES:
THESE DRAWINGS SHALL NOT BE SCALED.

THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY ONESELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.

THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCT, PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OF HIS SUBTRADES ARE MADE AWARE OF AND FOLLOW THE BUILDING GUIDELINES FOR CONSTRUCTION. CONFIRM HOURS OF OPERATION FOR DEMOLITION/CONSTRUCTION WITH CITY PROJECT ADMINISTRATOR PRIOR TO UNDERTAKING WORK AS OUTLINED ON DRAWINGS.

AS THE TENANT WILL CONTINUE TO CONDUCT BUSINESS DURING THE DEMOLITION/CONSTRUCTION PERIOD, ALL WORK MUST BE COORDINATED WITH CITY PROJECT ADMINISTRATOR AND/OR OFFICE MANAGER. SOME WORK MAY NEED TO BE COMPLETED OUTSIDE OF THE REGULAR BUSINESS HOURS.

CARE TO BE TAKEN TO KEEP ALL COMMON CORRIDOR AND EXIT AREAS CLEAR OF DEBRIS AND OBSTRUCTIONS DURING DEMOLITION/CONSTRUCTION.

ALL OPENINGS THROUGH FIRE ASSEMBLIES ARE TO BE FIRE STOPPED AND SEALED WITH U.L.C. APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.

ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.

WHERE NEW FLOORING AND BASE IS TO BE INSTALLED IN EXISTING AREAS (REFER TO FLOOR PLAN AND ROOM SCHEDULE) THE EXISTING FLOORING SURFACE AND BASE MUST BE REMOVED, UNLESS OTHERWISE NOTED. ALL FLOOR SURFACES SHALL BE PREPARED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF NEW FLOOR.

WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL, UNLESS OTHERWISE NOTED.

CONTRACTOR TO PROVIDE HOARDING WHERE REQ'D TO MAINTAIN HEALTH AND SAFETY. ALL ACCESS TO EXITS TO BE MAINTAINED THROUGHOUT CONSTRUCTION.

REFUSE TO REMOVED DAILY.

CONTRACTOR TO ATTEMPT TO RECYCLE ALL ITEMS REMOVED IN AN ENVIRONMENTALLY FRIENDLY MANNER.

ALL NEW LIGHTING FIXTURES & NEW RECEPTACLES TO BE CONNECTED TO APPROPRIATE PANELS.

GENERAL DUTY RECEPTACLES SHALL BE WHITE & CSA APPROVED, C/W STAINLESS STEEL TRIM PLATES MOUNTED 18" ABOVE FINISHED FLOOR OR OTHERWISE NOTED.

THERMOSTATS, FIRE ALARM PULL STATIONS & OCCUPANCY LIGHT SWITCHES SHALL BE MOUNTED 47" ABOVE FINISHED FLOOR OR OTHERWISE NOTED.

ALL ABANDONED ELECTRICAL FIXTURES, COMPONENTS, RECEPTACLE & DATA WIRING SHALL BE REMOVED BACK TO SOURCE & TERMINATED AS PER APPLICABLE CODES. IF APPLICABLE, THIS INCLUDES WIRING CONTAINED IN HEADER DUCTS IN-FLOOR.

STAR (*) PRECEEDING DIMENSION DENOTES CRITICAL DIMENSION MUST BE MET.

No.	REVISION/DESCRIPTION	BY	DATE
0	ISSUED FOR CONSTRUCTION	CEA	SEPT 13 2022
0	ISSUED FOR ESTIMATING	CEA	JUNE 11 2022
0	ISSUED FOR 99% CLIENT REVIEW	CEA	MAY 20 2022
0	ISSUED FOR 30% CLIENT REVIEW	SFC	JUNE 19 2019

SEAL

DRAWN	CHECKED	DESIGNED	APPROVED
SFC/CEA	CAD	CAD	CAD
DATE: 2022.05.11	USER APPROVAL	CAD	

THE CITY OF WINNIPEG
ASSETS & PROJECT MANAGEMENT
DEPARTMENT
MUNICIPAL ACCOMMODATIONS DIVISION
3-65 GARRY STREET, R3C 4K4

PROJECT
MAGNUS ELIASON RECREATION CENTRE
KITCHEN RENOVATION

430 LANGSIDE
SHEET TITLE
DEMOLITION PLAN