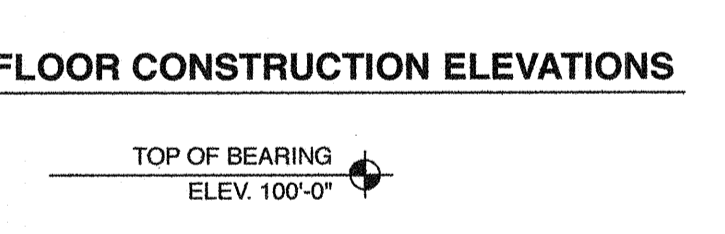
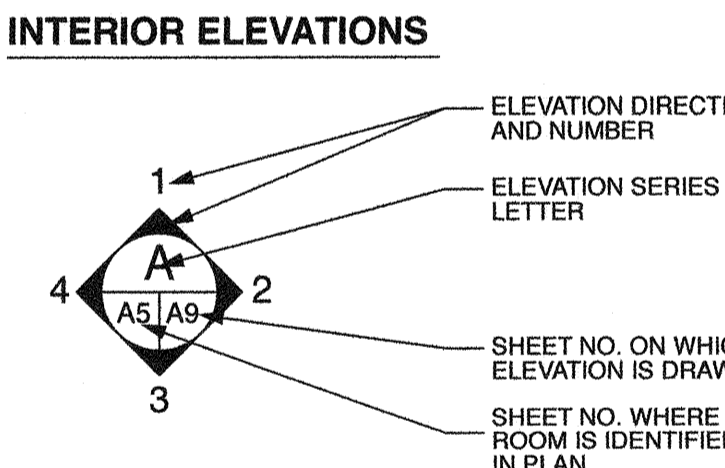
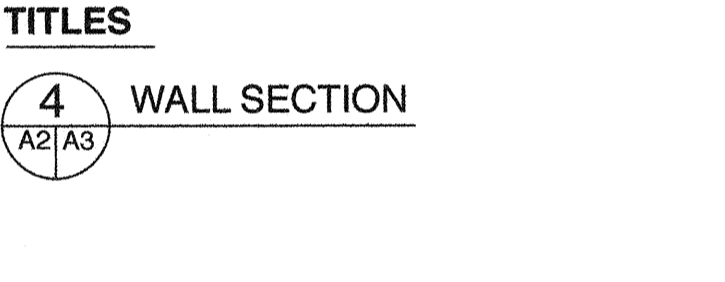
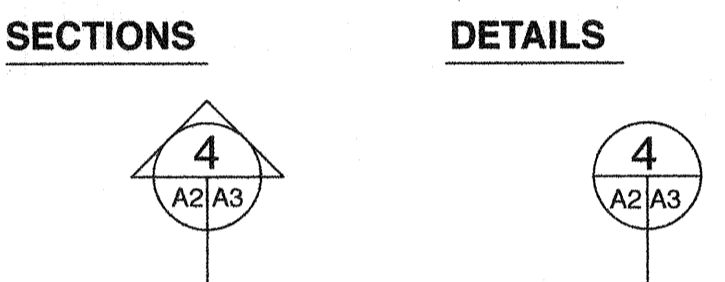
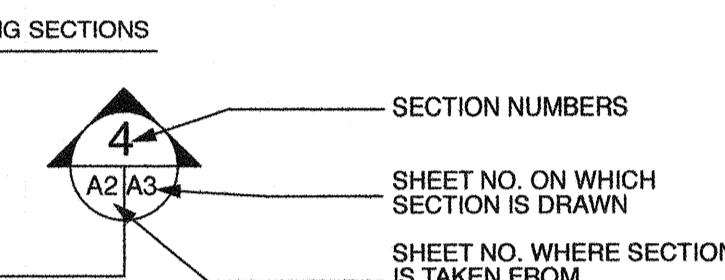


**ABBREVIATIONS :**

CL	CENTER LINE
PL	PLATE
AF.F.	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
ANOD.	ANODIZED
AT	AT
ARCH.	ARCHITECTURAL
AT.	ACOUSTIC TILE
AVB	AIR / VAPOUR BARRIER
BLDG.	BUILDING
BLKG.	BLOCKING
BRG.	BEARING
B.S.	BOTH SIDES
B. TO B.	BACK TO BACK
C.B.	CATCH BASIN
C.G.	CORNER GUARD
C.J.	CONTROL JOINT
CLG.	CEILING
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONT.	CONTINUOUS
CORR.	CORRIDOR
C/W	COMPLETE WITH
Ø	DIAMETER OR ROUND
DIM.	DIMENSION
DN.	DOWN
DRWG.	DRAWING
DTL.	DETAIL
EL.	ELEVATION
E.W.	EACH WAY
EA.	EACH
ELEC.	ELECTRICAL
EQUL.	EQUAL
EQUIP.	EQUIPMENT
EXIST.	EXISTING
E.J.	EXPANSION JOINT
EXT.	EXTERIOR
FDN.	FOUNDATION
F.E.	FIRE EXTINGUISHER
F.E.J.	FLOOR EXPANSION JOINT
FIN.	FINISHED
F.D.	FLOOR DRAIN
FFD.	FUNNEL DRAIN
F.F.	FINISHED FACE
FLEX.	FLEXIBLE
F.O.	FACE OF
F.R.R.	FIRE RESISTANCE RATING
GA.	GAUGE
G.W.B.	GYPNUM WALLBOARD
G.C.	GENERAL CONTRACTOR
GL.	GLASS
H.	HEIGHT
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR.	HOUR
H.S.D.G.	HERMETICALLY SEALED DOUBLE GLAZING
HSS	HOLLOW STEEL SECTION
H.S.T.G.	HERMETICALLY SEALED TRIPLE GLAZING
HT.	HEIGHT
H.V.A.C.	HEATING VENTILATING, AIR CONDITIONING
I.D.	INSIDE DIAMETER
I.F.	INSIDE FACE
INSUL.	INSULATION
INT.	INTERIOR
L.	LENGTH
m	METRE
mm	MILLIMETRE
M.B.	MOISTURE BARRIER
MATL.	MATERIAL
MAX.	MAXIMUM
MDF.	MEDIUM DENSITY FIBREBOARD
MECH.	MECHANICAL
MET.	METAL
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
NOM.	NOMINAL
#	NUMBER OR POUND
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTRE
O.D.	OUTSIDE DIAMETER
OPNG.	OPENING
O.H.	OVERHEAD
OPP.	OPPOSITE
P.LAM.	PLASTIC LAMINATE
PLBG.	PLUMBING
PREFIN.	PREFINISH
P.T.	PRESSURE TREATED
PTD.	PAINTED
P.L.	PROPERTY LINE
R.	RADIUS
R.D.	ROOF DRAIN
REINF.	REINFORCED
REQD.	REQUIRED
REV.	REVISION, REVISED
R.O.	ROUGH OPENING
SIM.	SIMILAR
SPCD.	SPECIFIED
SQ.	SQUARE
STD.	STANDARD
STL.	STEEL
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
TEMP.	TEMPERED
T.G.	TEMPERED GLASS
T.O.	TOP OF
TYP.	TYPICAL
UN	UNLESS OTHERWISE NOTED
US	UNDER SIDE
VERT.	VERTICAL
W.	WIDE OR WIDTH
W/	WITH
WD.	WOOD

**SYMBOL LEGEND :**

WALL TYPES	1
WINDOW TYPES	B
NEW DOOR & DOOR NUMBERS	D303
KEY NOTES	1
ROOF TYPE	1
FLOOR TYPE	2



**BUILDING CODE REVIEW SUMMARY**

Item	Manitoba Building Code	2011 MBC Reference
	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use	Part 9 9.10.1.2.
<b>1.1 Fire Protection, Occupant Safety and Accessibility</b>		
<b>MBC Section 3.1 General</b>		
a	Major Occupancy Classification Group D	9.10.2.
b	Other Intended Occupancy Group(s) N/A	9.10.2.
c	Building Area (m <sup>2</sup> ) Existing 64.5 New 64.5 Total	Division A, 1.4.1.2
d	Height of Building 4.255 m Number of Storeys 1 Above Grade Number of Streets 1	N/A Below Grade
e	Sprinkler System Proposed entire building not required Standpipe Required Yes No	
f	Firewalls Utilized Yes No Hrs Rating	
g	High Building Yes No	
h	Alternate Solutions Yes No	
i	Occupant Load Based On 1st Floor m <sup>2</sup> /person Occupancy 4 Occupant Load	9.9.1.3.
<b>MBC Section 3.2 Building Fire Safety</b>		
<b>3.2.2 Building Size and Construction Relative to Occupancy</b>		
a	Building Classification Group D, Business and Personal Services	9.10.2.1.
b	Permitted Construction Combustible Non-combustible Both Actual Construction Combustible Non-combustible Both	
c	Required Fire Resistance Rating (FRR) Horizontal Assemblies Floor above basement N/A Hrs Floor N/A Hrs Roof N/A Hrs Mezzanine N/A Hrs FRR of Supporting Members Floor N/A Hrs Roof N/A Hrs Mezzanine N/A Hrs Listed Design No. or Description	9.10.8.1.
d	Fire Blocks N/A Attic N/A Crawlspace	
<b>3.2.3 Spatial Separation</b>		
a	Spatial Construction of Exterior Wall: Wall Area of EBF L.D. L.H. Permitted Proposed FRR Combustible Combustible Non-Comb (m <sup>2</sup> ) (m) or H/L Max % of Openings % of Openings (Hours) Construction Construction Non-Comb Cladding Cladding North 19 8 100 100 0 ✓ South 32 8 100 100 0 ✓ East 21.5 8 100 100 0 ✓ West 21.5 8 100 100 0 ✓	
<b>3.2.8 Mezzanines and Opening through Floor Assemblies</b>		
a	Open Mezzanine (40%) Yes No Enclosed Mezzanine (10%) Yes No Interconnected Floor Space Yes No	
<b>MBC Section 3.3 Safety Within Floor Areas</b>		
a	Suite Separations Occupancy Business Services N/A hrs	
h	Janitor Room Yes No 0.75 hrs	
m	Storage of Dangerous Goods Yes No	
n	Flammable and Combustible Liquids Yes No	
o	Other Hazardous Processes Yes No	
p	Additional Occupancy Requirements	
<b>MBC Section 3.4 Exits</b>		
a	Minimum two exits 1 Required 1 Provided	
b	Mezzanine exits/egress stairs N/A	
c	Distance Between Exits (min.) N/A m > 1/2 Diagonal m actual	
d	Travel Distance max 30 m 3.4 m actual	
e	Exit Separation N/A hr	
f	Exit Lobby N/A hr	
g	Exit Capacity - Stair N/A mm width mm / person	
h	Number of persons / exit stair	
i	Exit Capacity - Door 1065 mm width 6.1 mm / person	
j	Number of persons / exit door 174	
k	Horizontal Exit Yes No	
l	Exits Scheme Provided (optional) Yes No	
m	Additional Information	

**PROJECT DATA**

Address	4403 CHEMIN WAVERLEY ROAD								
Legal	DESC OT80/65-NO ROLL NO: 292400.000								
Zoning	AR - AGRICULTURAL RESTRICTED								
Setbacks	<table border="1"> <tr><th>Required</th><th>Actual</th></tr> <tr><td>Front</td><td>38.1 m</td></tr> <tr><td>Rear</td><td>7.62 m</td></tr> <tr><td>Side (Int)</td><td>7.62 m</td></tr> </table>	Required	Actual	Front	38.1 m	Rear	7.62 m	Side (Int)	7.62 m
Required	Actual								
Front	38.1 m								
Rear	7.62 m								
Side (Int)	7.62 m								
Minimum Site Area	8,094 m sq.								
Maximum Building Height	1 Storey								
Building Areas Proposed	64.5 m <sup>2</sup> building								
Parking	Existing parking to remain.								
PROPOSAL SUMMARY	CONSTRUCT A NEW PUBLIC WASHROOM TO REPLACE THE EXISTING OBSOLETE ONE IN THE PREVIOUSLY ESTABLISHED LA BARRIERE PARK.								

MBC Section 3.7 Washroom Fixtures				3.7.2.0
a	Residential Occupancy - 1 washroom/suite	Yes	No	
b	Occupant load/sex	4	2	/sex
c	Female	Water Closet 1	Required 1	Provided
d	Male	Lavatory 1	Required 1	Provided
e	Male	Water Closet 1	Required 1	Provided
f	Male	Lavatory 1	Required 1	Provided
MBC Section 3.8 Barrier Free Design				
a	Entrances			
	- power door operator	✓	yes	N/A
	- clear width	✓	yes	N/A
	- vestibule clearances	✓	yes	N/A
	Barrier Free Path of Travel			
	- clearances	✓	yes	N/A
	- flooring warning surfaces	✓	yes	N/A
	Washrooms			
	- universal toilet room	✓	yes	N/A
	- power operator	✓	yes	N/A
	- water closet clearances	✓	yes	N/A
	- door requirements	✓	yes	N/A
	- grab bars	✓	yes	N/A
	- coat hook	✓	yes	N/A
	- signage	✓	yes	N/A
	- urinals, grab bars	✓	yes	N/A
	- lavatories, clearances	✓	yes	N/A
	- soap dispenser	✓	yes	N/A
	- towel dispenser	✓	yes	N/A
	- mirror	✓	yes	N/A
	Shower			
	- clearance, accessibility	✓	yes	N/A
	- hinged seat	✓	yes	N/A
	- grab bars	✓	yes	N/A
	- shelf	✓	yes	N/A
	Ramps and Stairs			
	- clearances	✓	yes	N/A
	- guards	✓	yes	N/A
	- handrails	✓	yes	N/A
	- detectable surfaces	✓	yes	N/A
	Assisted Listening Devices	✓	yes	N/A
	Counters	✓	yes	N/A
Building Code Electrical Safety Systems				
a	Fire Alarm & Detection System Required	✓	yes	No
b	Emergency Lighting Required	✓	yes	No
c	Exit Signage Required	✓	yes	No
Fire Paramedic Service - Provisions for Fire Fighting				
a	Access for fire fighting provided to basement, above grade storeys and roof	✓	yes	No
b	Access route for firefighters, including turnaround	✓	yes	No
c	Location of Fire Hydrants Shown	✓	yes	No
d	Standpipe System Required	✓	yes	No
e	Sprinkler System Connections Indicated	✓	yes	No
f	Standpipe System Connections Indicated	✓	yes	No
g	Other Conditions			
Additional Items				
a	Fire extinguishers shown	✓	yes	No
b	AED device shown	✓	yes	No
c	Equivalents Proposed	✓	yes	No
d	MECB Compliance	✓	yes	N/A
Notes:				

**WALL TYPE GENERAL NOTES :**

- ALL RATED WALLS & SOUND WALLS TO EXTEND TO US OF ROOF ASSEMBLY STRUCTURES AND ALL PENETRATIONS ARE TO BE SEALED TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION UNLESS OTHERWISE NOTED.
- ALL EXPOSED CONCRETE BLOCK, GYPSUM WALLBOARD, WOOD AND MISCELLANEOUS METAL IN OCCUPIED AREAS TO BE PAINTED UNLESS SPECIFIED OTHERWISE.
- SEE STRUCTURAL SCHEDULES FOR ALL REQUIRED LINTELS AND SUPPORTS.
- FURR OUT WALLS AS REQUIRED FOR RECESSED OR SEMI-RECESSED ELECTRICAL PANELS, FIRE EXTINGUISHERS, FORCE FLOW UNITS, ETC. TO FINISH CEILING, COORDINATE LOCATIONS AND DEPTHS WITH MECHANICAL/ELECTRICAL DRAWINGS AND OTHER TRADES. CARRY RATING BEHIND UNIT WHEN PENETRATING RATED WALL ASSEMBLIES.
- GENERAL CONTRACTOR TO CO-ORDINATE AND PROVIDE ALL SOLID BLOCKING WITHIN THE WALL AND CEILING AREAS TO SUPPORT SURFACE MOUNTED FIXTURES AND FITTINGS INCLUDING, BUT NOT LIMITED TO APPLIANCES, HANDRAILS, AND SIGNS, IN CONTRACT AS WELL AS FOR N.T.C. ITEMS IN COORDINATION WITH THE CITY.

**GENERAL NOTES :**

- THE FOLLOWING NOTES ARE APPLICABLE TO ALL DRAWINGS AND WORK WITHIN THE SCOPE OF THE PROJECT.
- THESE DRAWINGS SHALL NOT BE SCALED.
- ALL WORK IS TO BE IN COMPLIANCE WITH THE LATEST EDITION OF THE MANITOBA BUILDING CODE, INCLUDING ALL AMENDMENTS.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO INVESTIGATE LOCAL CONDITIONS AND ARRANGE WITH CITY TO EXAMINE SITE AND RELATED WORK.
- CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS AND REPORT ALL DISCREPANCIES TO THE CONTRACT ADMINISTRATOR PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL SATISFY THEMSELVES THAT ALL DIMENSIONS, DATUMS AND DETAILED INFORMATION SHOWN ARE CORRECT PRIOR TO COMMENCING WORK.
- COMPENSATION WILL NOT BE MADE BECAUSE OF FAILURE TO MAKE PROPER SITE INVESTIGATIONS & REPORTING ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR PRIOR TO BID CLOSING OR TO UNDERSTAND FULL NATURE OF WORK.
- DIMENSIONS ARE TO GRID LINES, FACE OF STUD, EXISTING CONCRETE OR CONCRETE BLOCK UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL OPENINGS THROUGH FLOOR, WALLS AND ROOF.
- ALL PLYWOOD OR WOOD BLOCKING USED BELOW OR WITHIN 150 mm OF GRADE TO BE PRESSURE TREATED.
- CONTRACTOR TO REMOVE ALL DEMOLITION ITEMS FROM SITE UNLESS OTHERWISE INSTRUCTED BY CITY, OR INDICATED ON DRAWINGS.
- CONTRACTOR TO REPLACE ANY ITEMS TEMPORARILY MOVED IN THE COURSE OF CONSTRUCTION WORK.
- CONTRACTOR TO REPAIR ANY ITEMS DAMAGED DURING THE COURSE OF CONSTRUCTION WORK.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE CONSULTANT.  
NO REPRODUCTIONS MAY BE MADE WITHOUT THE CONSENT OF THE CONSULTANT AND ALL REPRODUCTIONS MUST BEAR THE NAME OF THE CONSULTANT.  
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS NOTED ON THE DRAWINGS WITH THE CONDITIONS ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY ERRORS OR OMISSIONS TO THE ENGINEER FOR ADJUSTMENTS.  
THIS DRAWING SHALL NOT BE SCALED.

**LIST OF DRAWINGS**

- A0.1 BUILDING CODE REVIEW, LIST OF DRAWINGS
- A1.1 KEY PLAN, SITE PLAN
- A2.1 FLOOR PLANS
- A3.1 EXTERIOR ELEVATIONS
- A4.1 BUILDING SECTIONS, SCHEDULES
- A4.2 WALL SECTIONS
- A4.3 WALL SECTIONS
- A5.1 REFLECTED CEILING PLAN
- S1.1 NOTES
- S2.1 FOUNDATION/MAIN FLOOR PLAN
- S2.2 ROOF FRAMING PLAN
- S3.1 TYPICAL SECTIONS AND DETAILS
- S4.1 FULL HEIGHT SECTIONS
- S4.2 FULL HEIGHT SECTIONS
- M1.0 MECHANICAL - MAIN FLOOR PLAN - PLUMBING
- M2.0 MECHANICAL - MAIN FLOOR PLAN - HVAC
- M3.0 MECHANICAL - SPECIFICATION
- M3.1 MECHANICAL - SPECIFICATION
- E1.0 ELECTRICAL - LAYOUT
- E2.0 ELECTRICAL - SCHEDULES AND DISTRIBUTION



Revisions	
May 31, 2018	Issued for Construction
Date	Revision

Northern Sky Architecture Inc.

Project  
**New La Barriere Park Washroom Project**  
LaBarriere Park, Manitoba

drawing title			
<b>BUILDING CODE REVIEW, LIST OF DRAWINGS</b>			
scale	as noted	designed by	kbb
date	May, 2018	drawn by	kdw
project no.	16.235	reviewed by	dko
bid opp. no.	436-2018	sheet	A0.1 REV.