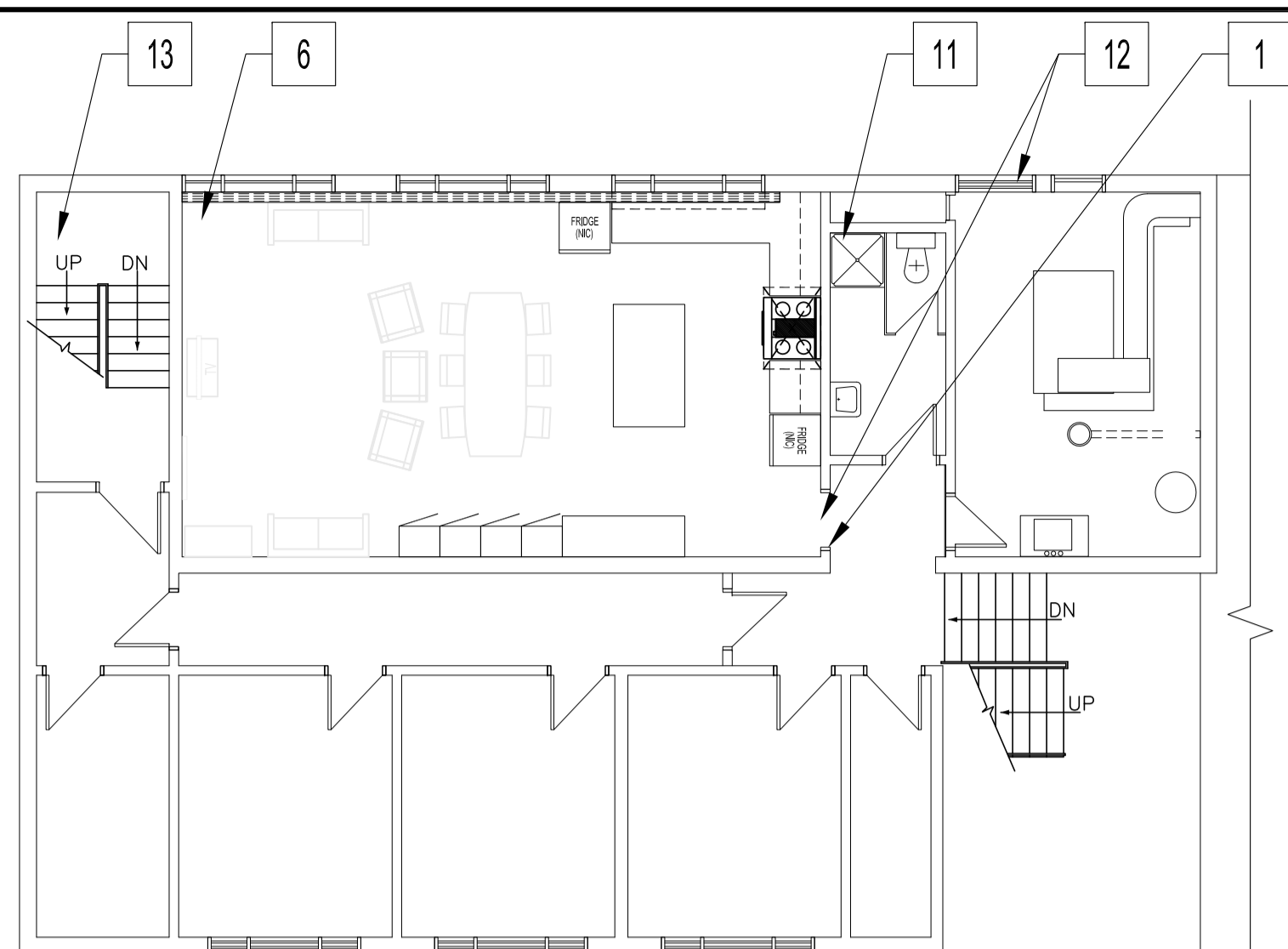
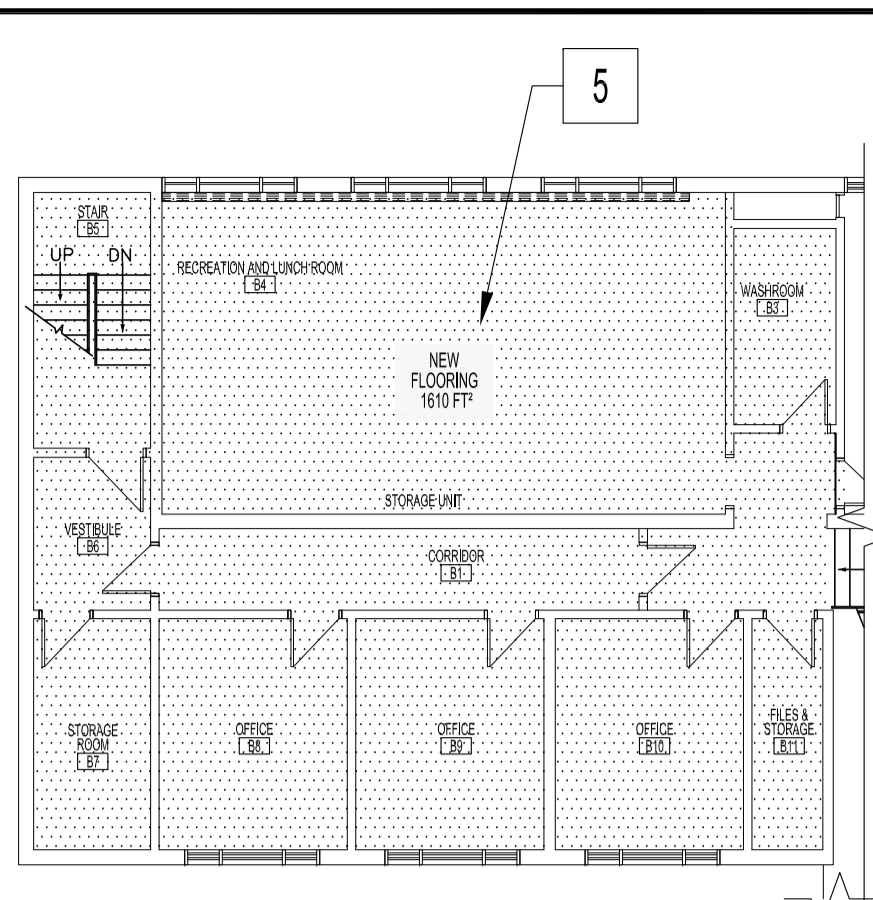


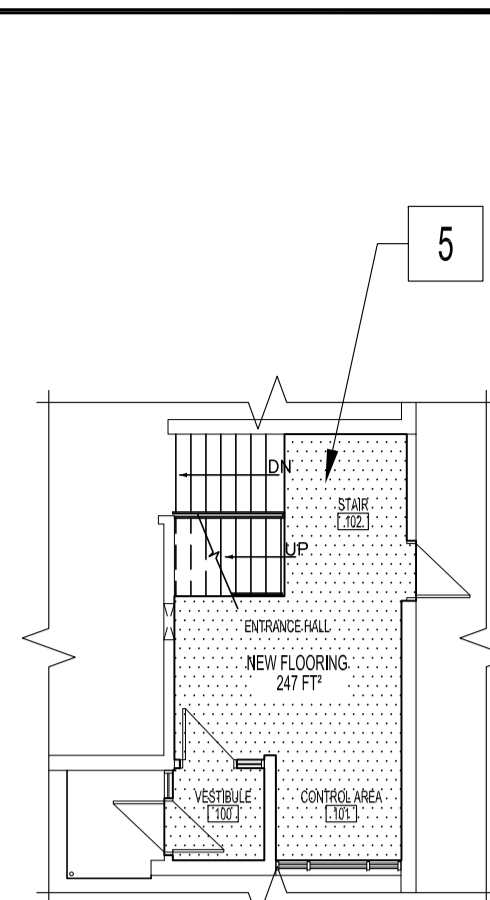
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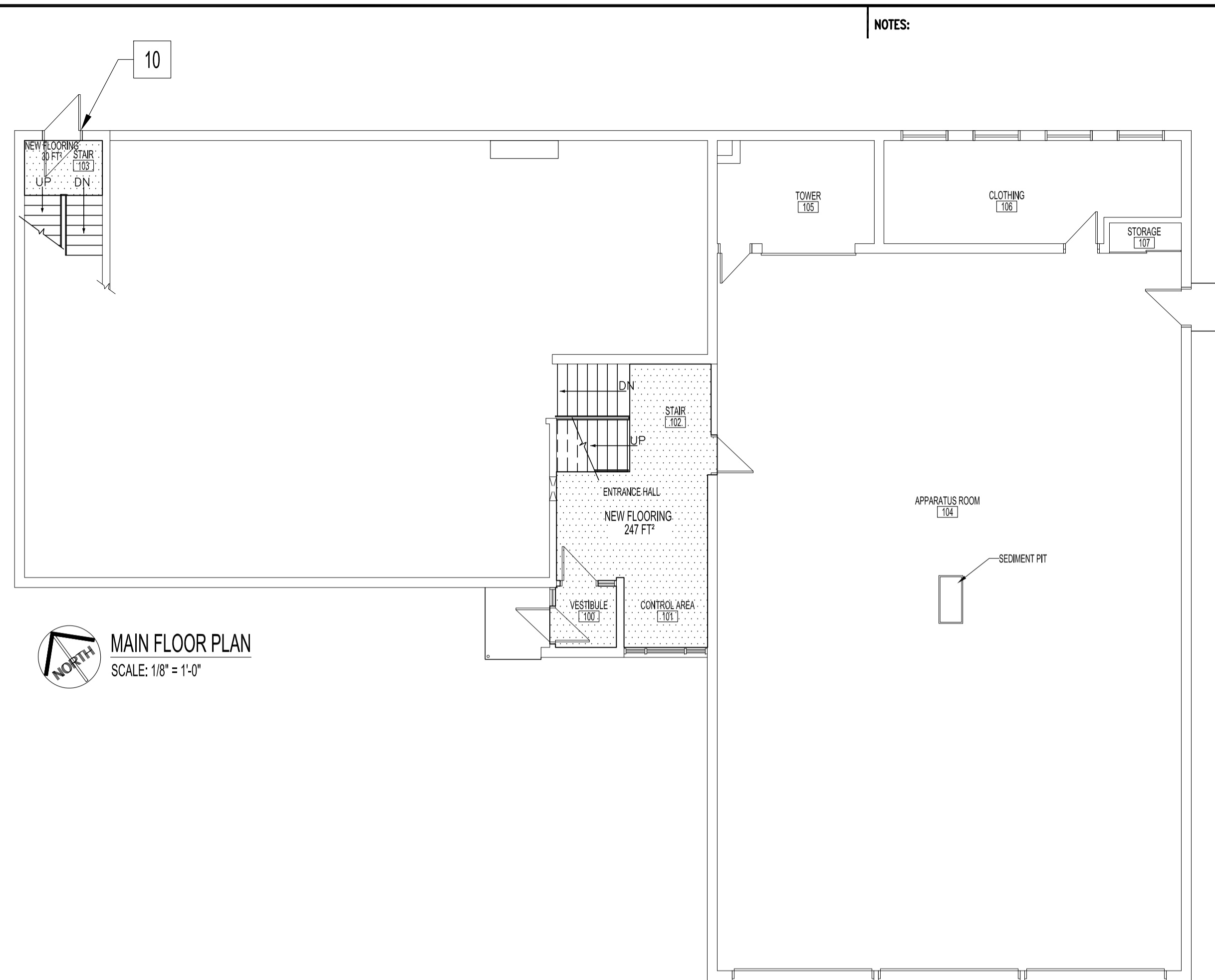
BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



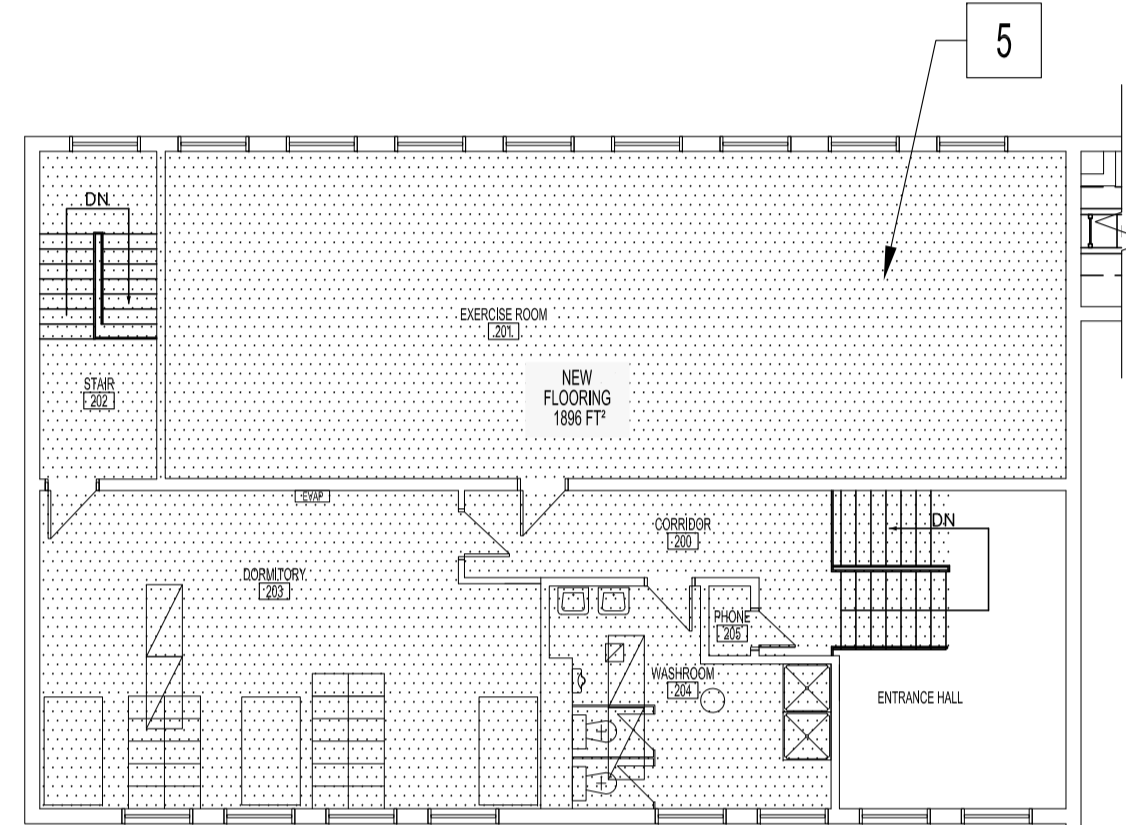
PARTIAL BASEMENT FLOOR PLAN
NEW FLOOR FINISH PLAN - RESINOUS FLOORING
SCALE: 3/32" = 1'-0"



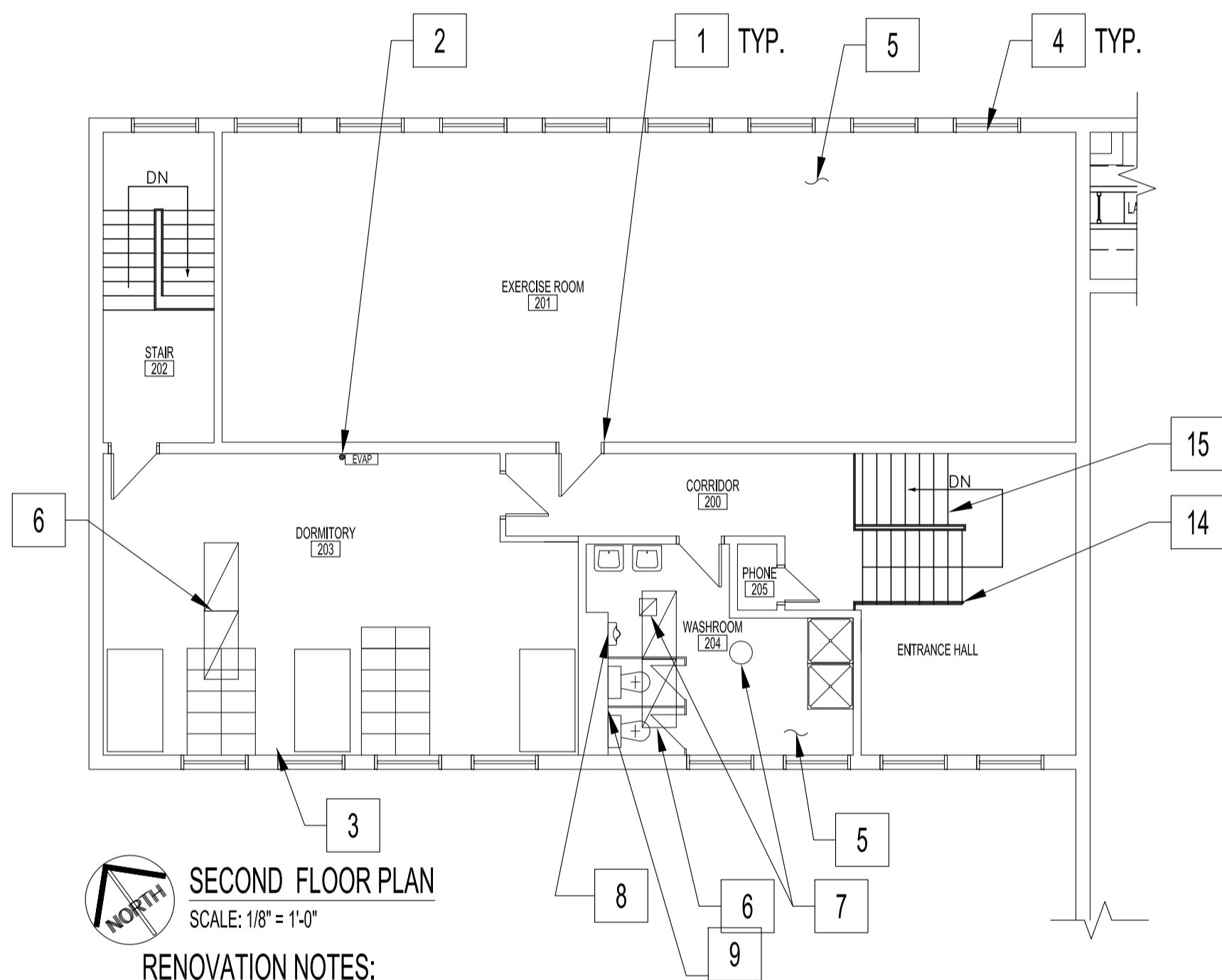
PARTIAL MAIN FLOOR PLAN
NEW FLOOR FINISH PLAN - RESINOUS FLOORING
SCALE: 3/32" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



PARTIAL SECOND FLOOR PLAN - NEW FLOOR FINISH PLAN
RESINOUS FLOORING
SCALE: 3/32" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

RENOVATION NOTES:
DENOTES RENOVATION

ALSO SEE NOTES & SPECIFICATIONS.

1. PATCH DAMAGED DOORS & FRAMES THEN PAINT DOORS (PT-2), DOOR FRAMES (PT-3).
2. PROVIDE CEILING COVER OVER EVAPORATOR REFRIGERANT & POWER LINES WITH SIMILAR EXISTING MATERIAL, PATCH & PAINT TO MATCH EXISTING.
3. MISSING CEILING TILES TO BE ADDED.
4. PROVIDE ALL NEW BLINDS IN ROOM, SEE ROOM SCHEDULE.
5. PROVIDE RESINOUS FLOORING & RUBBER BASE.. SEE ROOM SCHEDULE AND SPEC. CITY OF WINNIPEG TO REMOVE EXISTING FLOOR TILES.
6. REPLACE LUMINAIRES IN ROOM, SEE ELECTRICAL DRAWING.
7. REFASTEN LOOSE CEILING & GRILLE. PAINT TO MATCH EXISTING.
8. REHANG URINAL TO NEW HEIGHT, SEE MECHANICAL DRAWING.
9. REPAIR WALL & PAINT ENTIRE WALL TO MATCH EXISTING, ADD 4" HIGH S/ST. BACKSPLASH BEHIND BOTH TOILET PARTITIONS AND RE-PAINT TOILET PARTITIONS.
10. PAINT INNER EXTERIOR DOOR & PROVIDE NEW WEATHERSTRIPING & THRESHOLDS FOR BOTH DOORS.
11. REPLACE SHOWER & FIXTURES WITH FIBERGLASS UNIT MAAX ARUBA MODEL NO. 101102 WITH FULL GLASS PIVOT DOOR. APPROVED EQUAL: MAAX ESSENCE SH-3232 MODEL 148018 WITH FULL GLASS PIVOT DOOR.
12. MODIFY EXISTING WINDOW TO ACCOMMODATE MAU-1 FRESH AIR DUCT, PASS THRU & SUPPLY GRILLE ABOVE DOOR, SEE MECHANICAL DRAWING.
13. PAINT STAIR TREADS, COLOUR TBD.
14. REFINISH EXISTING WOOD STAIR RAILING TOP BY SANDING DOWN TO NATURAL WOOD TO ELIMINATE POSSIBLE SLIVERS. FINISH WITH TWO-COATS OF NATURAL URETHANE.
15. PROVIDE RESINOUS FLOOR FINISH ON STAIR WITH CONTRAST COLOUR STRIP. SEE RESINOUS FLOOR SPECIFICATIONS.

ROOM AND DOOR FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASEBOARD	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	DOOR	DOOR TRIM	BLINDS	NOTES
B1	CORRIDOR	TYPE 2	R.BB. 2									
B2	MECHANICAL ROOM	EXIST	EXIST									
B3	WASHROOM	TYPE 2	R.BB. 2						PT-1	PT-1		
B4	RECREATION & LUNCH ROOM	TYPE 2	R.BB. 2	PT-1	PT-1	PT-1	PT-1	PT-1	PT-1	PT-1	BL-1	
B5	STAIRS	TYPE 2	R.BB. 2									PAINT STEEL TREADS, PAINT TBD
B6	VESTIBULE	TYPE 2	R.BB. 2									
B7	STORAGE ROOM	TYPE 2	R.BB. 2									
B8	OFFICE	TYPE 2	R.BB. 2									
B9	OFFICE	TYPE 2	R.BB. 2									
B10	OFFICE	TYPE 2	R.BB. 2									
B11	FILES & STORAGE	TYPE 2	R.BB. 2									
100	VESTIBULE	TYPE 2	R.BB. 2									
101	CONTROL AREA	TYPE 2	R.BB. 2									
102	STAIRS	TYPE 2	R.BB. 2									
103	STAIRS	TYPE 2	R.BB. 2						PT-1			
104	APPARATUS	EXIST	EXIST									
105	TOWER	EXIST	EXIST									
106	CLOTHING	EXIST	EXIST									
107	STORAGE	EXIST	EXIST									
200	CORRIDOR	TYPE 2	R.BB. 2									
201	EXERCISE ROOM	TYPE 2	R.BB. 2						PT-1			
202	STAIRS	TYPE 2	EXIST									PAINT STEEL TREADS, PAINT TBD
203	DORMITORY	TYPE 2	R.BB. 2									
204	WASHROOM	TYPE 2	R.BB. 2						PT-2			
205	PHONE	TYPE 2	R.BB. 2									

ARCHITECTURAL

SHEET No:	SHEET TITLE
A1	BASEMENT, MAIN AND SECOND FLOOR PLANS: RENOVATION NOTES AND SCHEDULES
A2	CABINET, MILLWORK: ELEVATIONS, SECTIONS AND DETAILS
A3	SECTIONS, DETAILS AND SPECIFICATIONS

ABBREVIATIONS

TBD (TO BE DETERMINED)

TYPE 1: EXISTING VINYL TILE 9"X9" W/ 4" RUBBER BASE TYPE
2: NEW RESINOUS FLOORING, SEE SPECIFICATION

R.BB. 1: EXISTING 4" GREY RUBBER BASEBOARD
R.BB. 2: NEW 6" GREY RUBBER BASEBOARD
(SUBMIT SAMPLES)

PT-1: PAINT & COLOUR (TBD)
PT-2: HIGH GLOSS ALKYD (COLOUR TBD)

BL-1: ROLLER SHADES, COLOUR & TEXTILE TBD. DEKO S-70 SQUARE CASSETTE MANUAL ROLLER SHADES BY ALTEX, SUNPROJECT LINE OR APPROVED EQUAL.

No.	REVISION/DESCRIPTION	BY	DATE
2	ISSUE FOR ADDENDUM 2: ADDED APPROVED EQUAL FOR SHOWER (RENO NOTE 11).	DTA	2017.12.06
1	ISSUE FOR ADDENDUM 1: R.BB. 2 WAS 4". ADDED NOTE 7, 14, 15, BLIND SPEC BL-1.	JKR/DTA	2017.12.04
0	ISSUE FOR CONSTRUCTION	JKR/DTA	2017.11.15

SEAL



DRAWN	CHECKED	DESIGNED	APPROVED
JKR/DTA			
DATE: 2017.11.30	USER APPROVAL		

THE CITY OF WINNIPEG
PLANNING, PROPERTY AND DEVELOPMENT DEPARTMENT
MUNICIPAL ACCOMMODATIONS DIVISION
3-65 GARRY STREET, R3C 4K4

PROJECT
WINNIPEG FIRE PARAMEDIC SERVICES
STATION No. 17
INTERIOR RENOVATIONS
1501 CHURCH AVENUE BID OPP: 1013-2017

SHEET TITLE
BASEMENT, MAIN & SECOND FLOOR PLANS
RENOVATION NOTES AND SCHEDULES

SCALE	PROJECT No:	SHEET No:
AS SHOWN	2017-110	A1R2