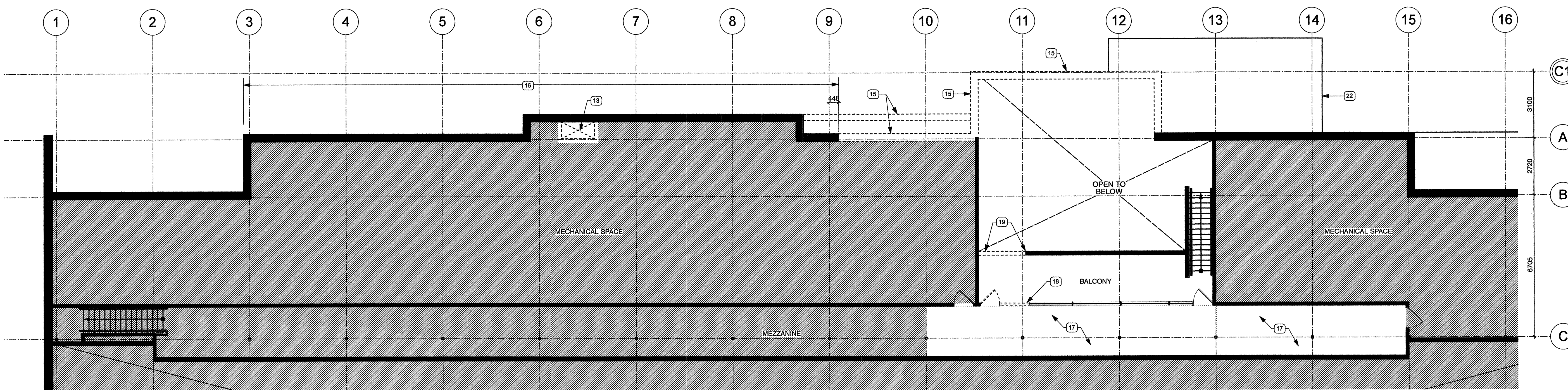


1 MAIN FLOOR DEMO PLAN  
Scale: 1:100



2 MEZZANINE DEMO PLAN  
Scale: 1:100

**DEMOLITION GENERAL NOTES:**

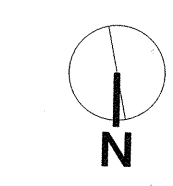
- REFER TO MECHANICAL FOR LOCATIONS OF ALL FLOOR DRAINS. PATCH CONCRETE FLOOR AND PREPARE FOR NEW FINISHES, AS REQ'D.
- REMOVE ALL FLOOR FINISHES IN EXIST. M & F LOCKER RM & WASHROOMS TO SUIT NEW DETAILS & FINISHES PLAN.
- REMOVE ALL FLOOR, CEILING, WALL FINISHES IN EXISTING SUPERVISORS/ADMIN SPACES TO BE DEMOLISHED FOR REVISED LOBBY SPACE.
- REMOVE EXIST CEILING & LIGHT FIXTURES IN EXIST MPR, LIFEGUARD OFFICE, EXIST. FLOOR FINISH TO REMAIN, REFER TO NEW MAIN FLOOR PLAN.
- REMOVE FLOOR FINISHES IN EXIST. LOBBY, VESTIBULE, & VENDING MACHINE CORRIDOR. PREPARE FOR NEW AS PER DETAILS & FINISHES PLAN.
- SALVAGE EXISTING BRICK VENEER & GLAZED CMU BLOCK FOR RE-USE AS REQUIRED IN AREAS OF EXISTING BUILDING; FEMALE CHANGE 115, MALE CHANGE 118 & CORR. 119 EXISTING COLUMNS, WALLS & EXPOSED SURFACES TO BE PROTECTED FROM DAMAGE DURING RENOVATION. ALL ADJACENT WALLS SURFACES REMOVED TO BE COMPLETED WITHOUT DAMAGE TO EXISTING THAT REMAINS. PATCH & REPAIR AS REQ'D TO MAKE GOOD.
- 

**DEMOLITION PLAN KEYNOTES:**

- ALL EXISTING LOCKERS TO BE REMOVED INCLUDING CURB BENEATH. TYP. RELOCATE AS PER PROPOSED PLANS.
- EXISTING TOILET PARTITIONS TO BE REMOVED.
- DEMO MILLWORK
- EXISTING SINKS, VANITIES, TOILETS & URINALS TO BE REMOVED, REFER TO MECH. SAWCUT EXISTING EXTERIOR MASONRY WALL. PROVIDE NEW LINTEL OVER OPENING, REFER TO STRUCT.
- REMOVE EXIST. HEATER & FIRE ALARM PANEL.
- DEMO EXISTING WOOD CEILING.
- REMOVE EXISTING FENCE, TO BE REPLACED W/ NEW MECH. ENCLOSURE, REFER TO DETAILS.
- EXIST. CONC. SLAB TO REMAIN.
- REMOVE EXISTING METAL SCREEN.
- RELOCATE EXISTING BENCH - REFER TO A2-02 MAIN FLOOR PLAN FOR NEW LOCATION.
- EXISTING BENCH TO BE RELOCATED, REFER TO LANDSCAPE.
- CUT NEW OPENING FOR NEW MECH. DUCT (SEE MECH.), PROVIDE NEW STEEL PLATE LINTEL SUPPORT, AS REQ'D. REFER TO STRUCT.
- DEMO EXISTING VESTIBULE GLAZING/SLIDING DOOR. REPAIR MASONRY AS REQ'D. W/ SALVAGED BRICK VENEER.
- REMOVE EXTERIOR WALL SYSTEM FROM CONC. SLAB TO US OF ROOF STRUCTURE. ROOF STRUCTURE TO REMAIN. REFER TO SECTIONS.
- REMOVE EXISTING CLADDING AND RIGID INSULATION ABOVE EXTERIOR MASONRY. PREPARE AVB FOR TIE IN WITH NEW. REFER TO SECTION 4/A4-02 & 3/A4-03. EXIST MASONRY BELOW TO REMAIN.
- CAREFULLY REMOVE EXISTING WD CEILING AND STORE FOR REUSE. REMOVE WD AND CEILING STUDS AS REQUIRED FOR NEW HVAC INSTALLATION.
- DEMO PORTION OF EXIST INTERIOR GLAZING TO SUIT NEW WALL. EXTEND CMU WALL TO MEET MULLION IN EXIST GLAZING. MAKE GOOD.
- DEMO EXISTING CONC. BLK. GUARD & MTL RAIL AS REQUIRED FOR NEW ELEC ROOM. MAKE GOOD RAIL TO FINISH AT WALL, NEW CMU TO TOOTH INTO EXIST GUARD.
- REMOVE EXISTING BATT INSULATION AND VB IN EXISTING STUD WALL ABOVE GLAZING. PREPARE CAVITIES FOR SPRAY FOAM. REFER TO DETAILS.
- REMOVE AND REPLACE EXISTING POTLIGHT FIXTURES ABOVE IN EXIST WD CEILING. REFER TO ELEC.
- ROOF CANOPY ABOVE TO REMAIN - REFER TO DETAILS, REPAIR SOFFIT AS REQ'D.
- REMOVE EXISTING CMU WALL & GLAZING, BOTTOM COURSE TO REMAIN, REFER TO DETAILS.
- DEMO EXIST. PARTITION WALL
- DEMO EXIST. 100 HIGH TILED CURB B/W G/L 11 & 12 ONLY

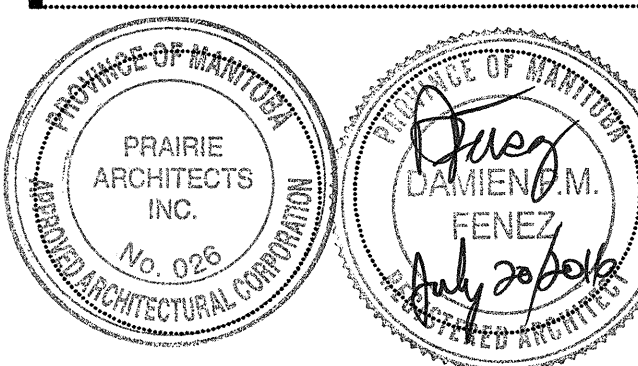
**PLAN KEY:**

- EXIST. DOOR TO BE REMOVED
- EXIST. WALL TO BE REMOVED
- EXIST. WALL TO REMAIN
- NOT IN CONTRACT



#	date	issue notes
4	2016.07.15	issued for construction
3	2016.06.13	issued for 99% review
2	2015.12.02	issued for class 1 pricing
1	2015.03.03	issued for class 'c' pricing

**professional seals**



**project information**

**SEVEN OAKS POOL RENOVATION & ADDITION**

444 ADSUM DRIVE  
WINNIPEG, MB  
CANADA

**client**

CITY OF WINNIPEG  
4TH FLOOR - 85 KING ST.  
WINNIPEG, MB

**drawing information**

**DEMOLITION PLANS**

drawn by: **LW**  
approved by: **DF**

scale: **1:100**  
date issued: **2016.07.15**  
proj. #: **2014.66**  
rev. #: **R-0**

**SEVEN OAKS POOL RENOVATION & ADDITION**  
BID OPPORTUNITY NO. 645-2016

**A2 00**

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