

KEY PLAN  
SCALE: N.T.S.

**NOTES :**

THESE DRAWINGS SHALL NOT BE SCALED.

THE SUBCONTRACTOR SHALL VISIT THE SITE AND SATISFY ONESELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.

THE SUBCONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCT, PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.

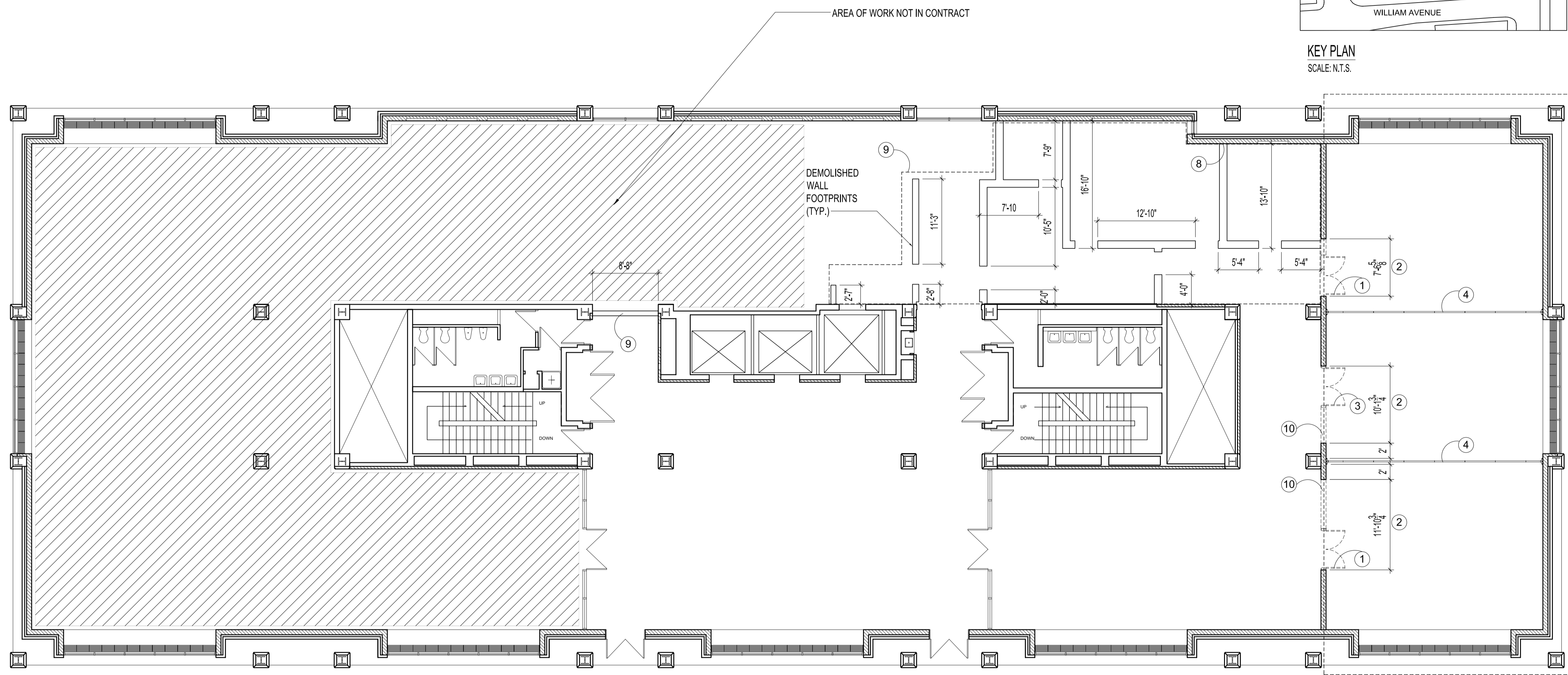
ALL OPENINGS THROUGH FIRE ASSEMBLIES ARE TO BE FIRE STOPPED AND SEALED WITH U.L.C. APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.

ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.

THE SUBCONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.

WHERE NEW FLOORING AND BASE IS TO BE INSTALLED IN EXISTING AREAS, REFER TO FLOOR PLAN AND ROOM SCHEDULE. THE EXISTING FLOORING SURFACE AND BASE MUST BE REMOVED UNLESS OTHERWISE NOTED. ALL FLOOR SURFACES SHALL BE PREPARED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF NEW FLOORING.

WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL, UNLESS OTHERWISE NOTED.



5 6 7

**DRAWING LIST**

A1 SECOND FLOOR PLAN -DEMOLITION & FLOOR PATCHING  
 A2 SECOND FLOOR PLAN -RENOVATION & SCHEDULES  
 A3 PARTIAL SECOND FLOOR PLAN -REFLECTED CEILING  
 A4 SECOND FLOOR PLAN -MILLWORK & ELEVATIONS  
 A5 SECOND FLOOR PLAN -MILLWORK DETAILS

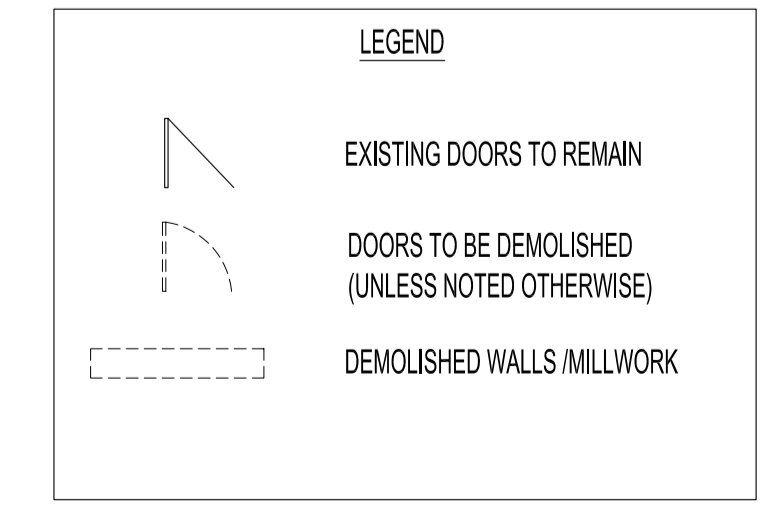
M1 SECOND FLOOR PLAN -MECHANICAL DEMOLITION  
 M2 SECOND FLOOR PLAN -MECHANICAL RENOVATION  
 M3 SECOND FLOOR PLAN -MECHANICAL & PLUMBING SPECIFICATIONS

E1 SECOND FLOOR PLAN -ELECTRICAL, DATA & PHONE DEMOLITION  
 E2 SECOND FLOOR PLAN -ELECTRICAL & DATA RENOVATION  
 E3 SECOND FLOOR PLAN -ELECTRICAL LIGHTING RENOVATION  
 E4 SECOND FLOOR PLAN -ELECTRICAL & DATA SPECIFICATIONS

SECOND FLOOR PLAN - DEMOLITION & FLOOR PATCHING  
SCALE: 1/8"=1'-0"

**ARCHITECTURAL DEMOLITION NOTES**

- 1 REMOVE & SALVAGE EXISTING DOUBLE OAK DOORS & FRAMES FOR NEW OPENING. NEW LOCATION AS SHOWN ON DRAWING A2. ELEVATIONS & DETAILS ON A4 & A5.
  - 2 DEMOLISH ENTIRE WALL FROM FLOOR TO STEEL DECKING AS DIMENSIONED.
  - 3 REMOVE EXISTING DOUBLE OAK DOORS. SALVAGE TOP RAIL TO BE USED AS REPLACEMENT RAIL FOR EXISTING DOUBLE OAK DOORS #D207 ON A2.
  - 4 **BY OTHERS:** REMOVE & SALVAGE EXISTING FOLDING DOOR PARTITIONS. DETAILS & FINISHES FOR PARTITION DOORS 205B & 206B ON DWG. A2.
  - 5 REMOVE EXISTING PLASTIC CORD HOLDERS FROM EXISTING TERRAZZO BASEBOARD IN THREE CONFERENCE ROOMS ON ALL WALLS. REMOVE GLUE AS REQUIRED FOR A CLEAN FINISH ON TERRAZZO.
  - 6 CLEAN TERRAZZO FLOOR OF GLUE IN ALL CONFERENCE ROOMS. PREPARE FOR NEW CARPETING BY OTHERS.
  - 7 REMOVE ALL NON-SMOKING SIGNS AND METAL COAT RACKS FROM CONFERENCE ROOMS. REPOINT ANY FACEBRICK JOINTS FROM REMOVAL OF RACKS, ELECTRICAL, ETC.
  - 8 REMOVE EXISTING EXPOSED MORTAR AND CLIPS ON WALL FROM PREVIOUS WALL DEMOLITION. CLEAN & REPOINT JOINTS ON WALLS AS REQUIRED.
- FLOOR PATCHING NOTES**
- 9 GRIND ANY EXPOSED TERRAZZO ON FLOOR FOR A SMOOTH FLUSH FINISH WITH EXISTING FLOOR. PATCH EXISTING FLOOR AREAS W/ GROUT AND TO BE FLUSH WITH EXISTING TERRAZZO FLOORING.
  - 10 PATCH EXISTING FLOOR FLUSH W/ EXISTING TERRAZZO W/ GROUT WHERE NEW DOOR OPENINGS ARE LOCATED. FOR DOOR LOCATIONS SEE A2.



NO.	REVISION/DESCRIPTION	BY	DATE
SEALS			

DRAWN BY	CHECKED BY	APPROVED
MMK	USER	
DATE	2005.05.24	

**CITY OF WINNIPEG**  
 PLANNING, PROPERTY &  
 DEVELOPMENT DEPARTMENT  
 CIVIC ACCOMMODATIONS DIVISION  
 300 - 65 GARRY ST. R3C 4K4

**PROJECT**  
 ADMINISTRATION BUILDING  
 SECOND FLOOR RENOVATIONS  
 CONFERENCE ROOM RENOVATIONS  
 510 MAIN STREET

**SHEET TITLE**  
 SECOND FLOOR PLAN  
 DEMOLITION & FLOOR PATCHING

SCALE	PROJECT NO.	SHEET NO.
AS NOTED	2004-180	A1