

## **LEGEND**

- 1 REMOVE AND DISPOSE OF EXISTING TREE AND STUMP (BY OTHERS
- REMOVE AND DISPOSE OF EXISTING PLAY EQUIPMENT AND SWINGS (BY OTHERS)
- REMOVE AND DISPOSE OF 79 LINEAR METRES EXISTING TIMBER EDGING (BY OTHERS)
- 4 REMOVE AND DISPOSE OF 3 EXISTING BENCHES (BY OTHERS)
- REMOVE AND DISPOSE OF EXISTING 1.2m HIGH FENCE AND BAFFLE GATE ALONG STREET (21 LINEAR METRES, BY OTHERS)
- REMOVE AND DISPOSE OF CHAIN LINK FENCE FABRIC ONLY (2.4 LM, DARK BLUE LINE). EXACT LOCATION TO BE CONFIRMED ON SITE WITH CONTRACT ADMINISTRATOR
- EXCAVATE AND LEGALLY DISPOSE OF 375mm DEPTH MIN. EARTHEN MATERIAL, GRANULAR PAVEMENT AND EXISTING SAFETY SURFACING FOR NEW PLAY AREA (85 CM, LIGHT BLUE AREA)
- 8 EXCAVATE AND LEGALLY DISPOSE OF 200mm DEPTH MIN. EXISTING SAFETY SURFACING AND GRANULAR PAVEMENT OUTSIDE OF PROPOSED PATHWAY AND PLAY AREAS (22 CM, DARK BLUE AREAS)
- OLEAR AND GRUB EXISTING SOD (HATCHED AREA) 100mm DEPTH MIN. (20 CM) AND VEGETATIVE GROWTH ALONG FENCELINE. CONTRACT ADMINISTRATOR TO CONFIRM ON SITE ANY PLANT MATERIAL TO REMAIN

## **DEMOLITION & REMOVALS NOTES**

- 1. ALL WORK TO CONFORM TO CURRENT CITY OF WINNIPEG STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED
- 2. DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED
- 3. DO NOT SCALE DRAWINGS
- 4. PROTECT EXISTING TREES AND SHRUBS TO REMAIN, TYP.
- 5. SECURE CONSTRUCTION SITE AND STAGING AREA WITH CONSTRUCTION FENCING C/W SAFETY SIGNAGE
- 6. CONFIRM STAGING AREA W/ CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION

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EXISTING 1.8m HIGH CHAIN LINK FENCE

CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOF PRIOR TO CONSTRUCTION. LOCATION OF UNDERGROUND STRUCTURES AS SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE BUT NO GUARANTEE IS GIVEN THAT ALL EXISTING UTILITIES ARE SHOWN OR THAT THE GIVEN LOCATIONS ARE EXACT. CONFIRMATION OF EXISTENCE AND EXACT LOCATION OF ALL SERVICES MUST BIOBTAINED FROM THE INDIVIDUAL UTILITIES BEFORE PROCEEDING WITH CONSTRUCTION.



THE CITY OF WINNIPEG
Planning, Property and Development Department
Planning and Land Use Division
Unit 15 - 30 Fort Street, Winnipeg, MB, (R3C 4X5)

DESIGNED BY CHECKED BY TB DRAWN BY APPROVED BY MANAGER DATE TB PARK AND OPEN SPACES HORIZ. SCALE 1:150 VERT. SCALE DATE DATE March 2024 PLANNING AND LAND USE DIVISION

OBTAINED FROM THE INDIVIDUAL UTILITIES BEFORE PROCEEDING WITH CONSTRUCTION.

DRAWING TITLE

Alfred Tot Lot Redevelopment

DRAWING NO.

Existing Conditions and Removals

SITE ADDRESS

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SITE ADDRESS

576 Alfred Avenue

BID OPPORTUNITY NO.
270-2024