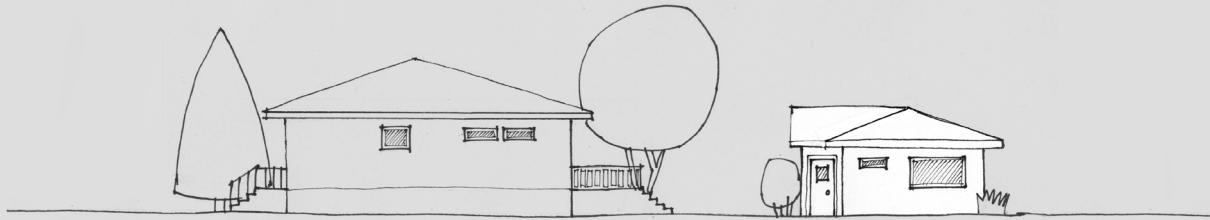


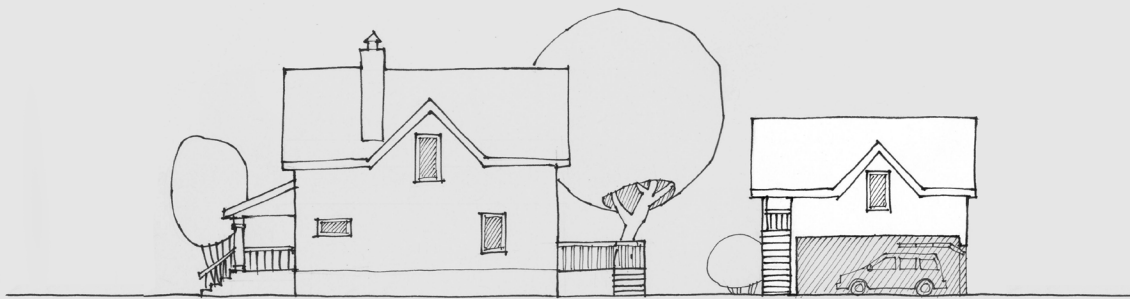
# Detached Secondary Suites

## Zoning and construction requirements

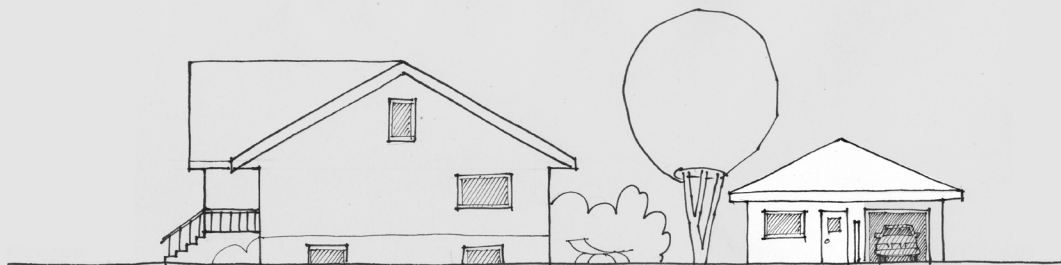
### Garden suite



### Garage suite (above)



### Garage suite (adjacent)



### Detached secondary suite

A self-contained living space located adjacent to a single-family residence. It can be an independent structure or located over, or attached, to a detached garage. It provides the basic requirements for living, sleeping, cooking, and sanitation. Only one detached secondary suite is permitted on any single-family property.

A detached secondary suite is only permitted on a property where the primary house is a single-family dwelling.

Homeowners are encouraged to hire a design professional to help design a suite that fits the space, is compatible with the neighbourhood, and satisfies applicable zoning and building code requirements.

For information about attached secondary suites, please see the Attached Secondary Suites guide at: [winnipeg.ca/secondariesuites](http://winnipeg.ca/secondariesuites)

# Zoning requirements

A development permit application is required to develop a detached secondary suite. A development permit establishes land use and confirms compliance with the Zoning By-law and other City departments' requirements.

A Conditional Use 'C' approval is required, and a variance application may be required, to support your development permit application if the following criteria are not met:

- The property must be a minimum of 325 m<sup>2</sup> (3,500 sq. ft).
- The property must be a 'through lot', corner lot or abut an improved public lane.
- Floor area of the suite must be no smaller than 32.5 m<sup>2</sup> (350 sq. ft) and no larger than 55.7 m<sup>2</sup> (600 sq. ft).
- The height of the secondary suite is limited to 4.57 m (15'-0") if it is situated on grade and 7.62 m (25'-0") if it is situated above a detached garage.
- It can be no closer than 3.05 m (10'-0") from the primary dwelling.
- Minimum side yard must be the same as the primary dwelling and the rear yard setback must be no less than 1.5 m (5'-0").
- It must be no greater than 45.7 m (150'-0") from the nearest curb on the front street and an unobstructed pathway. A minimum of 762 mm (2'-6") in width must be provided between the front property line and the secondary suite.
- No roof decks are allowed above the floor area.
- The maximum lot coverage of the property shall be no greater than the applicable zoning district allows.
- The maximum lot coverage for all accessory structures on the property shall be no greater than 44.9 m<sup>2</sup> (484 sq. ft) or 12.5% of the total lot area, to a maximum of 81.75 m<sup>2</sup> (880 sq. ft).
- It cannot be used as home-based business, care home or neighbourhood rehabilitation facility.
- Properties with detached secondary suites must provide a minimum of two off-street parking spaces. A secondary suite may not be subdivided from the principal building.
- Detached secondary suites are only permitted in R1 and R2 zoning districts with single-family dwellings.

To determine your zoning district, call Permits Direct Line at 204-986-5140 or visit: [Citizen's Information Service](#).

# Building code regulations

A building permit application is required to develop a detached secondary suite. A building permit confirms the structure meets code requirements and must align with prior development permit approvals. Separate electrical and plumbing permits are also required.

The building code does not differentiate between single-family dwellings and detached secondary suites. As such, all current Manitoba Building Code, Winnipeg Building By-law, Winnipeg Electrical By-law, and Manitoba Plumbing Code requirements and regulations are applicable to the construction of detached secondary suites.

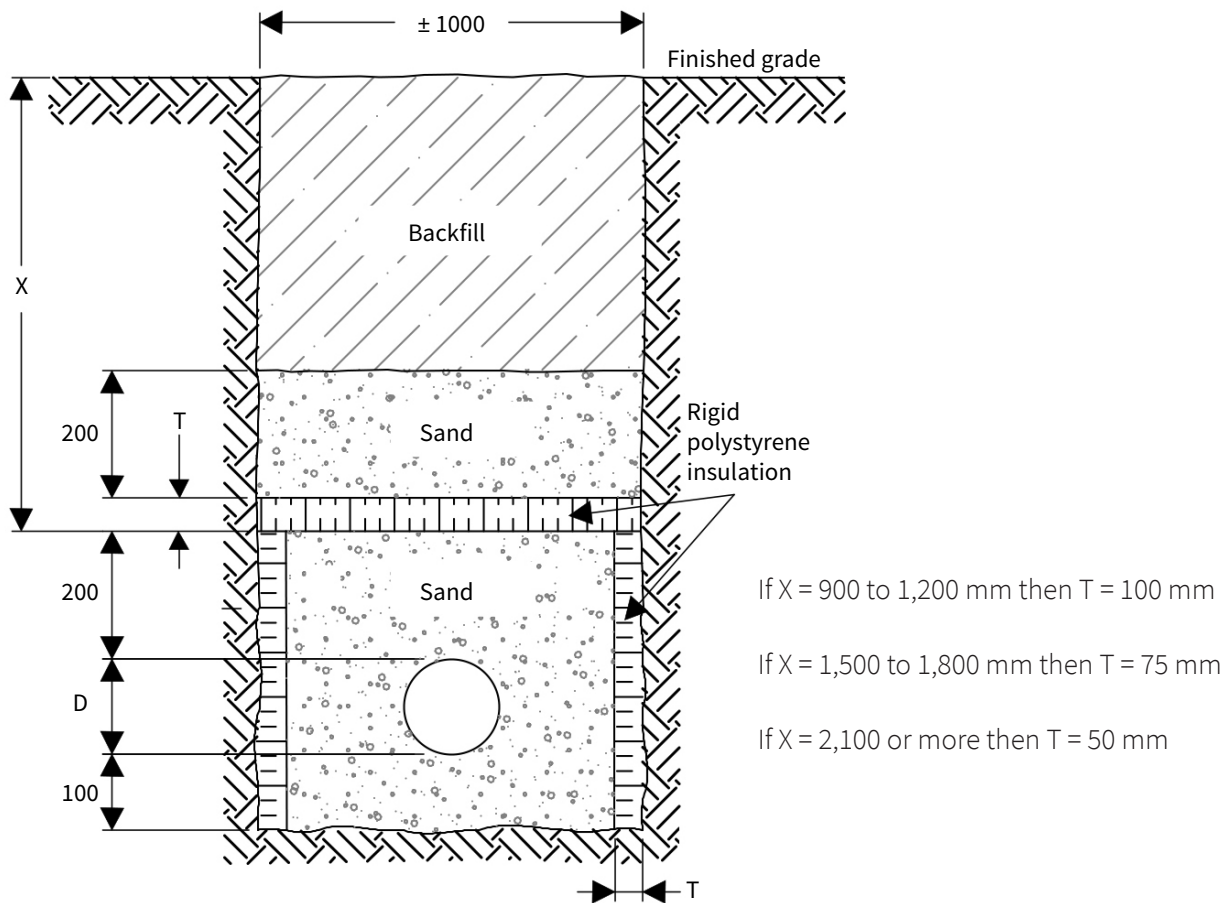
# Sewer and water services

Sewer and water services can be extended from the primary dwelling or they can be brought in from the street with the approval of City of Winnipeg, Water and Waste Department. If you want to extend sewer and water services, you will need to provide a site servicing plan prepared by a licensed surveyor or a professional civil engineer licensed to practice in the Province of Manitoba with your development permit application. Please note:

- Sewer line shall be set at a minimum depth of 1.83 m (6'-0") below grade to avoid frost and must meet sloping requirements of the Manitoba Plumbing Code.
- Water line shall be set at a minimum 2.29 m (7'-6") deep below grade.

If the above specifications cannot be met then the following diagram applies:

## Insulation detail for pipe in an excavation



Zoning & Permits Branch

Unit 31 - 30 Fort Street, Winnipeg, Manitoba R3C | [winnipeg.ca/ppd](http://winnipeg.ca/ppd)

Permits Direct Line

204-986-5140 | [ppd-permit@winnipeg.ca](mailto:ppd-permit@winnipeg.ca)

Updated: November 2022

Every effort has been made to ensure the accuracy of information contained in this publication. However, in the event of a discrepancy between this publication and the governing City of Winnipeg By-law, the bylaw will take precedence.